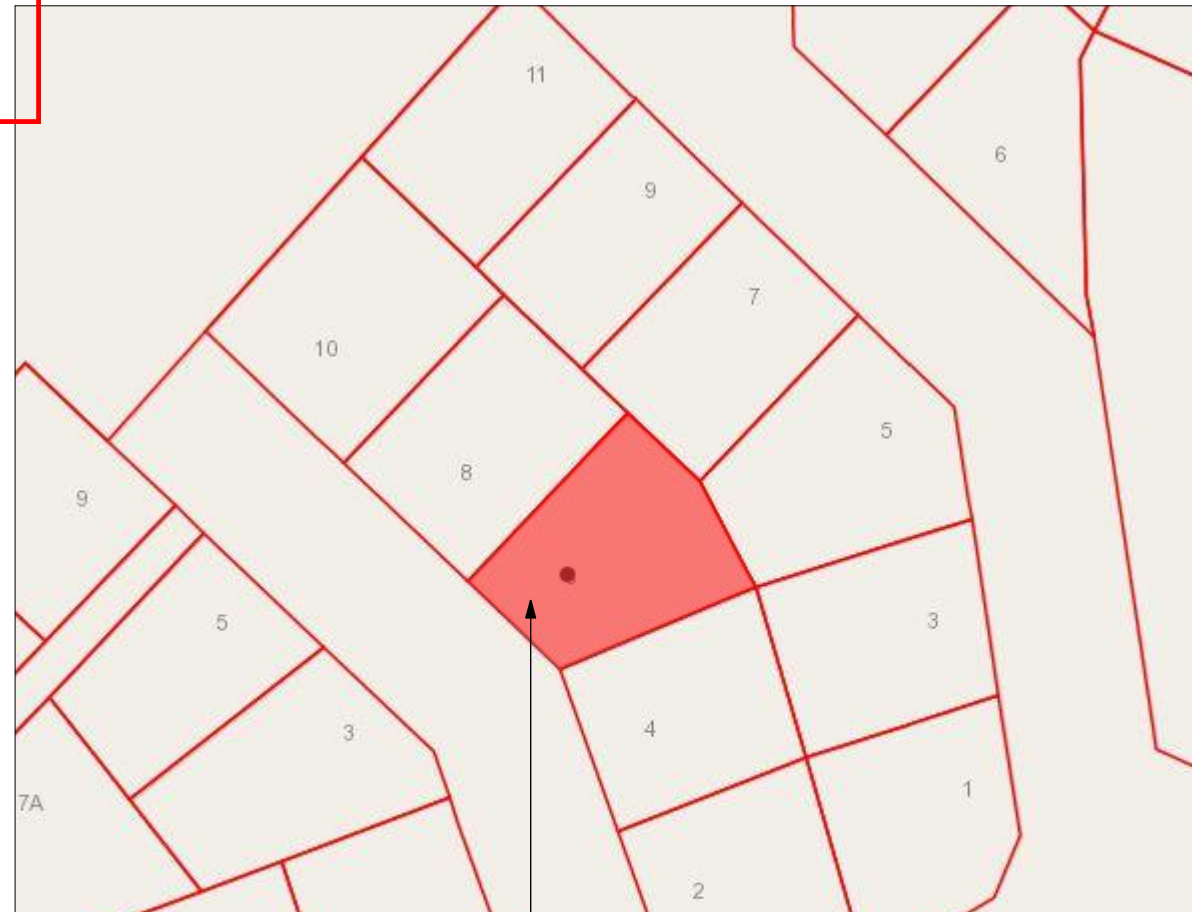


DRAWING SCHEDULE	
LAYOUT ID	LAYOUT NAME
01	INDEX/SITE LOCALITY
02	PROJECT NOTES
03	PROJECT NOTES
04	SITE PLAN
05	SITE & CONCRETE SETOUT PLAN
06	FOUNDATION SETOUT PLAN
07	FOUNDATION PLAN
08	FOUNDATION DETAILS
09	FOUNDATION DETAILS
10	PLUMBING PLAN/ DETAILS
11	FLOOR PLAN
12	DIMENSIONED FLOOR PLAN
13	ELEVATIONS E01 & E02
14	ELEVATIONS E03 & E04
15	CROSS SECTION A-A
16	CROSS SECTION B-B
17	ROOF LAYOUT PLAN
18	ROOF FRAMING & SETOUT PLAN
19	BUILDABLE TRUSS LAYOUT
20	ROOF BRACING PLAN
21	LINTEL, STUDS & FIXINGS PLAN
22	TOP PLATE CONNECTIONS
23	WALL BRACING PLAN
24	WALL BRACING CALCULATIONS
25	BRICK VENEER DETAILS
26	BRICK VENEER DETAILS
27	CLADDING DETAILS
28	CLADDING DETAILS
29	HWS & WET AREA DETAILS
30	BATHROOM LAYOUTS & ELEVATIONS
31	WINDOW, DOOR & H1 SCHEDULES
32	SED STORMWATER DESIGN
33	SED STORMWATER DESIGN
34	ASBUILT DRAINAGE PLAN FOR CONTRACTOR USE ON SITE



BUILDING SITE



ARTISTS IMPRESSION ONLY

CONSULTANT SCHEDULE COMPLIANCE
ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS & CALCULATIONS. READ REPORTS BEFORE COMMENCING CONSTRUCTION. ENSURE REQUIREMENTS ARE COMPLIED WITH DURING CONSTRUCTION.

ANY VARIATIONS FROM THESE DRAWINGS & DOCUMENTS SHALL BE DISCUSSED WITH FRANKLIN ARCHITECTURAL DESIGN PRIOR TO ANY CHANGES ON SITE.

DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE COMMENCING CONSTRUCTION.

SITE LEVELS SHALL BE CONFIRMED ON SITE BY CONTRACTOR BEFORE COMMENCING CONSTRUCTION

GEOTECHINICAL REPORT
Derek Booth Consultancy Ltd
info@dbcon.co.nz
PHONE: 0800 23 22 66
REF: 180815

STRUCTURAL ENGINEER
TILSLEY ENGINEERING LTD
Zahid: zahid@teng.co.nz
PHONE: 09 238 3245
REF: 16125

BUILDABLE TRUSS DESIGN/ PS1
DAYLE ITM
PHONE: 09 828 9791
REF: BTL00031

REFER SHEET 20 & PRODUCER STATEMENT/LINTEL DESIGN/CALCULATIONS IN SPECIFICATION ADDENDUM ATTACHED.

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:	 PO Box 11019, Palm Beach 3118 Ph 09 239 2663 admin@fads.co.nz	Find us at www.franklinarchitectural.co.nz	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE INDEX/SITE LOCALITY	DRAWN	KBR	DRAWING NUMBER 01 SCALE
									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

Waikato District Council
Building Consent Number
BUD05022
APPROVED

PROJECT NOTES:

WIND ZONE - HIGH
EARTHQUAKE ZONE -1
DURABILITY ZONE -B
ROOF WEIGHT - LIGHT
ROOF PITCH - 25 DEGREES

DURABILITY: C
REFER DURABILITY TABLE IN PLANS
EXPOSURE ZONE B (AS DEFINED BY NZS3604:2011 4.5.2)
"CLOSED" - DRY INTERNAL LOCATIONS, NOT SUBJECT TO AIRBORNE SALT OR RAIN WETTING.
"SHELTERED": - OPEN TO AIRBORNE SALTS, BUT NOT RAIN WASHED. SHALL BE ABOVE 45° LINE DRAWN FROM LOWER EDGE OF A PROJECTING WEATHERTIGHT STRUCTURE SUCH AS A FLOOR, ROOF OR DECK.

CONTRACT SHALL BE NZS 3910 UNLESS OTHERWISE STATED

CONSTRUCTION SHALL COMPLY WITH NZS 3604:2011 AND FOLLOWING SECTIONS OF THE NEW ZEALAND BUILDING CODE
B1/AS1/VM1/VM4 STRUCTURE
B2/AS1 DURABILITY
C1-6/AS1 FIRE SAFETY
D1/AS1 ACCESS ROUTES
E1/AS1 SURFACE WATER
E2/AS1/AS3 EXTERNAL WATER
E3/AS1 INTERNAL WATER
F2/AS1 HAZARDOUS BUILDING MATERIALS
F4/AS1 SAFETY FROM FALLING
F5/AS1 CONSTRUCTION & DEMOLITION HAZARDS
F7/AS1 WARNING SYSTEMS
G1/AS1 PERSONAL HYGIENE
G2/AS1 LAUNDERING
G3/AS1 FOOD PREPARATION & PREVENTION OF CONTAMINATION
G4/AS1 VENTILATION
G5/AS1 INTERIOR ENVIRONMENT
G6/AS1 AIRBORNE & IMPACT SOUND
G7/AS1 NATURAL LIGHT
G8/AS1 ARTIFICIAL LIGHT
G10/AS1 PIPED SERVICES
G11/ AS1 GAS AS AN ENERGY SOURCE
G12/AS1 WATER SUPPLIES
G13/AS3 FOUL WATER
H1/AS1 ENERGY EFFICIENCY
ALL PLAN VARIATIONS OR PRODUCT CHANGES/SYSTEMS/AS BUILT DOCUMENTATION SHALL BE SUPPLIED TO THE MAIN CONTRACTOR AND BUILDING CONSENT AUTHORITY BEFORE A CODE OF COMPLIANCE CERTIFICATE CAN BE ISSUED

OWNER BUILDING MAINTENANCE
REGULAR ONGOING MAINTENANCE SHALL BE CARRIED OUT BY OWNER TO ACHIEVE REQUIRED DURABILITY OF ALL MATERIALS, COMPONENTS AND JUNCTIONS.
REFER TO SPECIFIC MANUFACTURERS LITERATURE FOR AL MAINTENANCE SCHEDULES AND PROCEDURES.

REGULAR MAINTENANCE INCLUDES:
INSPECTION OF /WASHING EXTERIOR SURFACES / JUNCTIONS.
NO HIGH PRESSURE WATER SHALL BE DIRECTED AT ANY SENSITIVE JUNCTIONS
REPAIR OR REPLACEMENT OF ITEMS TO MAINTAIN WEATHER TIGHTNESS OF BUILDING ENVELOPE.
GUTTER SYSTEMS INSPECTED AND CLEANED OUT MONTHLY TO AVOID BLOCKING GUTTER SYSTEM.
FLASHINGS, CLADDINGS AND ROOF SYSTEMS INSPECTED EVERY QUARTER FOR SIGNS OF DETERIORATION. REPAIR ALL FAULTS WITHOUT DELAY AS SOON AS DISCOVERED.

DURABILITY OF NAILS & SCREWS					
TAKEN FROM NZS 3604:2011 TABLE 4.2 - STEEL ITEMS SUCH AS NAILS OR SCREWS USED FOR FRAMING & CLADDING					
NAIL OR SCREW					
BUILDING LOCATION	CLADDING THAT ACTS AS BRACING (50 YEAR DURABILITY)	NON-STRUCTURAL CLADDING (15-YEAR DURABILITY)	FRAMING IN "CLOSED" AREAS ⁽¹⁾ INCLUDING ROOF SPACES	FRAMING IN "SHELTERED AREAS" ⁽¹⁾	FRAMING IN "EXPOSED" AREAS ⁽¹⁾
Zone B & C	GALVANISED STEEL ⁽⁴⁾	GALVANISED STEEL ⁽⁴⁾	MILD STEEL ⁽⁵⁾	GALVANISED STEEL ⁽⁵⁾	GALVANISED STEEL ⁽⁵⁾

CONSTRUCTION NOTES
ALL CONSTRUCTION SHALL COMPLY WITH NZBC E2/AS1, NZS3604:2011 AND FOLLOWING PROPRIETARY SPECIFICATIONS / DETAILS INCLUDED IN THE PLANS AND SPECIFICATIONS.
REFER SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.
ESTABLISH FINISHED LEVELS ON SITE BEFORE COMMENCING CONSTRUCTION.

DIMENSIONS SHALL BE VERIFIED ON SITE BEFORE COMMENCING CONSTRUCTION.
WRITTEN DIMENSIONS SUPERCEDE SCALED DIMENSIONS.

ALL ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ENGINEERING DRAWINGS & CALCULATIONS

ALL CONTRACTORS ARE RESPONSIBLE FOR BUILDING CONSENT DOCUMENTATION AND SITE SAFETY REQUIREMENTS ARE COMPLIED WITH DURING CONSTRUCTION

SITE LEVELS SHALL BE CONFIRMED ON SITE BY CONTRACTOR BEFORE COMMENCING CONSTRUCTION

SERVICES

ALL PLUMBING /DRAINAGE SHALL BE IN ACCORDANCE WITH AS/NZS 3500.2:2018.

EXISTING SERVICES SHALL BE LOCATED AND IDENTIFIED AT PROPOSED CONNECTION POINTS BEFORE COMMENCING CONSTRUCTION.

CONTRACTOR SHALL LIAISE WITH AND ATTEND WHERE NECESSARY NETWORK UTILITY OPERATORS & COUNCIL AUTHORITIES FOR INSTALLATION OF SERVICES.

CONNECTIONS AND DRAINAGE SHALL BE COMPLETED IN ACCORDANCE WITH RELEVANT NZ CODES AND TERRITORIAL AUTHORITY REQUIREMENTS.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING EXCAVATION TO AVOID DISRUPTION TO EXISTING SERVICES AND REINSTATEMENT TO THEIR ORIGINAL CONDITION

CONSTRUCTION R-VALUES:
REFER TO SPECIFICATION APPENDIX FOR DESIGN WORKSHEET.
REQUIREMENTS ARE IN ACCORDANCE WITH NZBC H1/AS1.
CLIMATE ZONE 2,
NZS 4218:2009 CALCULATION METHOD.
INSTALL MANUFACTURERS SPECIFICATION ALL WALL/ ROOF AND SUBFLOOR INSULATION.

H1 - DOWNLIGHTS
CONFIRM DOWNLIGHT SPECIFICATION COMPLIES WITH H1 REQUIREMENTS.
DOWNLIGHTS SHALL HAVE NZECP 54 'CA', 'RA' OR 'OA' FITTINGS WITH INSULATION ABUTTED AGAINST FITTINGS.

SHOWER GLASS/ DOORS
SHOWER GLASS & DOORS SHALL BE INSTALLED WITH TOUGHENED SAFETY GLASS IN ACCORDANCE WITH NZS 4223: PART 3:1999

ALL INTERNAL DOORS SHALL BE 2.0m HIGH HOLLOW CORE WITH ARCHITRAVES UNLESS OTHERWISE SPECIFIED.

SURFACE FINISH
WALL LININGS ADJACENT TO APPLIANCES SHALL COMPLY WITH G3/AS1 CLAUSE 1.6. HYGIENIC SURFACE FINISHES

TIMBER
ALL TIMBER FRAMING SHALL COMPLY WITH NZS3604:2011
ALL STRUCTURAL TIMBER FRAMING SHALL BE SG8 UNLESS OTHERWISE SPECIFIED.

TIMBER TREATMENTSHALL COMPLY WITH NZBC B2/AS1 REFER TO DRAWINGS / SPECIFICATIONS AS TREATMENT VARIES ACCORDING TO LOCATION & DETAIL

ALL INTERNAL ENCLOSED FRAMING H1.2
ALL EXTERNAL EXPOSED FRAMING H3.2
ALL TIMBER IN CONTACT WITH GROUND H5

INSTALL DPC UNDER ALL BOTTOM PLATES/TIMBER IN CONTACT WITH CONCRETE.

FRAMING SHALL BE FIXED TO FLOOR SLAB BY:
PROPRIETARY LUMBERLOK BOTTOM PLATE FASTENERS WITH 150mm OF EACH END OF THE PLATE AND BE SPACED AT A MAXIMUM:
- 900mm CENTRES FOR POURED INSITU CONCRETE SLABS

ALL PRODUCTS/ MATERIALS SHALL BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.

JOINERY/ GLAZING
ALUMINIUM DOOR REBATES- CONFIRM DOOR REBATE POSITION AND SIZE WITH OWNER/SITE SUPERVISOR BEFORE COMMENCING FABRICATION OF DOORS

ALL JOINERY DETAILS SHALL COMPLY WITH
NZBC E2/AS1:
FIGURE 71 - GENERAL HEAD FLASHINGS
FIGURE 72 A/B - GENERAL JAMB/SILL DETAILS
FIGURE 73 C/D - BRICK VENEER
FIGURE 86- CAVITY FIX RUSTICATED WEATHERBOARDS
FIGURE 91 - CAVITY FIX FIBRE CEMENT WEATHERBOARDS

LEAD CONTRACTOR IS RESPONSIBLE FOR WEATHER TIGHTNESS OF SYSTEM ON SITE.

WINDOWS TO BATHROOMS/TOILETS/ SERVICE AREAS SHALL BE OPENABLE

MIN REQUIREMENT: 5% OPENING WINDOWS BASED ON INDIVIDUAL SERVICED ROOM FLOOR AREA

'MARSHALL INNOVATIONS PROTECTO SILL SYSTEM®' SILL SYSTEM TO ALL WINDOW / DOOR OPENINGS TO COMPLY WITH WANZ WIS WINDOW INSTALLATION SYSTEM DETAILS (EXCLUDING HEAD FLASHING DETAILS) FOR CAVITY CONSTRUCTION.
GLAZING SHALL COMPLY WITH NZS 4223 (2008 AMENDMENTS)
DOUBLE GLAZING TO ALL WINDOWS AND DOOR JOINERY EXCLUDING GARAGE.
ALL GLAZING SHALL BE CLEAR FLOAT EXCEPT FOR OBSCURE GLASS TO BATHROOMS AND TOILETS. JOINERY MANUFACTURER SHALL CONFIRM LOCATION OF SAFETY GLASS AS REQUIRED BY CODE.

ENCLOSURE:
BUILDING UNDERLAY SYSTEM.
BUILDING WRAP - THERMAKRAFT WATERGATE PLUS
USE POLYPROPYLENE TAPE TO SUPPORT BUILDING WRAP AND INSULATION - HORIZONTALLY AT 300MM CENTRES PLUS OVER NOGS AND VERTICALLY TO MATCH STUDS SPACING'S.

70 SERIES BRICK VENEER ON 50mm CAVITY.
WALL TIES PLACEMENT:
TOP OF VENEER PANEL/TOP OF PANELS UNDER OPENING: 300mm MAX OR TWO COURSES (WHICHEVER IS THE SMALLER) OF TOP OF VENEER.
UNSUPPORTED PANEL SIDES AND EDGES OF OPENINGS: 300mm MAX TO PANEL SIDE OR EDGE.

VENEER PANEL BASE IN MASONRY REBATE SHALL BE SEALED WITH 2 COATS SIKA BLACKSEAL PLUS LIQUID APPLIED DAMP PROOF COURSE:

BRICK VENEER TIES SHALL COMPLY WITH AS/NZS 2699.1: PLACE TIES TO:
- NZS 4210: 2.9.5 TIE ANCHORAGE, COVER AND FIXING; AND
- NZS 4210: 2.9.6 PLACING OF TIES
- NZS 4210: 2.9.7 TIE CLASSIFICATION AND SPACING AT UNSUPPORTED EDGES AND AT ALL OPENINGS THROUGH VENEERED WALLS OR NON GROUTED CAVITY WALLS, WALL TIES TO BE PROVIDED:
- AT THE TOP AND BOTTOM OF THE OPENING:
- NOT MORE THAN 300MM OR 2 COURSES, WHICHEVER IS THE SMALLER
- AT THE SIDES OF THE OPENING OR AT AN UNSUPPORTED EDGE:
- NOT MORE THAN 300MM
- WHERE THE VENEER WALL CONTINUES ABOVE OR IS INTERRUPTED BY A DAMP-PROOF COURSE OR WATERPROOF MEMBRANE, WALL TIES SHALL BE PROVIDED IN EACH OF THE FIRST TWO COURSES ABOVE THE MEMBRANE.

BRICK TIES SHALL BE AT 400MM C/C FOR WALL HEIGHTS OVER 2.455m HIGH.
VENEER STUDS SHALL BE AT 400MMC/C FOR WALLS SUPPORTING BRICK VENEER HIGHER THEN 2.455m HIGH.

TIES SHALL BE SCREW FIXED (IE NON IMPACT METHOD) USING CORRECT DURABILITY ZONE SCREWS

ROOFING: 25° ROOF
COLORSTEEL CORRUGATED ENDURA LONGRUN 0.4 GAUGE FIX WITH APPROVED SCREWS.
DRISTUD RU24 ROOF UNDERLAY
MAINTAIN MIN. 25mm GAP CLEARANCE BETWEEN INSULATION & ROOF UNDERLAY.
H1.2 SG8 70x45 PURLINS @ 900mm C/C
NOTE: 800mm END SUPPORT TO COMPLY WITH NZBC E2/AS1 FIG 45 WHERE REQUIRED.

JAMES HARDIE LINEA WEATHERBOARD SYSTEM:
CLADDING SYSTEM SHALL BE INSTALLED TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
16mm THICK 4200mm LONG BEVEL BACK PROFILE BRANZ APPRAISAL 447/CODEMARK CERTIFIED WEATHERBOARD OVER 20mm DRAINED CAVITY SYSTEM
REFER DESIGN AND JUNCTION MANUAL
CONTRACTOR SHALL COMPLETE JH WEATHERBOARD CHECKLIST INCLUDING SUPPLY OF HARDCOPY TO LOCAL AUTHORITY AS PART OF ENGAGEMENT

TRUSSES
REFER TRUSS MANUFACTURERS PRODUCER STATEMENT FOR ADDITIONAL LOAD BEARING REQUIREMENTS TO SUPPORT ROOF LOADS.
TRUSS MANUFACTURERS PRODUCER STATEMENT SHALL TAKE PRECEDENCE OVER PLANS.

FLASHINGS
0.55 BMT FLASHINGS - COATING FINISH SHALL MATCH ROOF.
REFER NZBC E2/AS1: 2011 AND NZ ROOF AND WALL CLADDING CODE OF PRACTICE FOR ALL FLASHINGS.
WEATHERTIGHT FLASHINGS: HIPS, RIDGES, BARGES /SEALS SHALL COMPLY WITH NZBCE2/AS1.
FLASHING MATERIALS:
GUTTERS AND FIXINGS SHALL COMPLY WITH NZBC E2/AS1 -TABLE 20
FLASHINGS SHALL BE COMPATIBLE WITH MORTAR/BEDDING IN ACCORDANCE WITH TABLE 21 & 22.

SOFFIT LINING
JAMES HARDIE 4.5mm HARDIE SOFFIT LINING TO SOFFITS WITH BUTT JOINTS UNLESS OTHERWISE SPECIFIED IN LARGE SOFFIT AREAS.
ALL SOFFIT LINING WORK SHALL BE IN ACCORDANCE WITH JAMES HARDIE INSTALLATION MANUAL AND SPECIFICATIONS.

STUD FRAMING
TIMBER TREATMENT SHALL COMPLY WITH NZBC B2/AS1
STUDS SHALL COMPLY WITH NZS3604:2011 TABLE 8.2

NOGS @ 800mm C/C TYPICALLY VERTICALLY - CLADDING REQUIREMENTS MAY OVERRIDE
- CONTRACTOR SHALL VERIFY INTERNAL LINING FIXING REQUIREMENTS BEFORE COMMENCING CONSTRUCTION

LINTELS
THE LINTELS HAVE BEEN SIZED USING THE FOLLOWING:
ALL SG8 TO NZS3604:2011.

hyONE LINTEL HAS BEEN SIZED USING THE designIT FOR HOUSES - NEW ZEALAND SERIES 8 SOFTWARE.

STRUCTURE CONCRETE
MIN CONCRETE COVER TO STEEL REINFORCEMENT:
CONCRETE PLACED DIRECT ON/AGAINST GROUND: 75mm
ALL OTHER SITUATIONS WHERE CONCRETE IS PLACED IN FORMWORK (REFER 4.5.2): 50mm
TOP OF WALL /FLOOR SLAB IN A CLOSED AREA: 30mm - INCLUDES ALL EXPOSED FINISH SLAB SURFACES

DIRECT WEARING CONCRETE FLOORS SHALL COMPLY WITH NZS3101 TABLE 5.3
MINIMUM SPECIFIED CONCRETE STRENGTH AT 28 DAYS SHALL BE (NZS3604:2011 4.5.2):
-20MPa: ALL REINFORCED CONCRETE EXPOSED TO WEATHER IN ZONE C

ENGINEERED RIBRAFT FOUNDATIONS - CONSTRUCTION SHALL COMPLY WITH ENGINEERS SPECIFIC DESIGN AND SPECIFICATIONS.

25mm DEEP GARAGE DOOR REBATE - CONFIRM DEPTH AND SET OUT TO SUIT GARAGE DOOR MANUFACTURER. PROVIDE 50mm GROUND CLEARANCE TO F.L. IN ACCORDANCE WITH NZBC E2/AS1.

120mm DEEP SLAB REBATE FOR BRICK VENEER WALL CLADDING.

85mm THICK 20MPa CONCRETE SLAB REINFORCED WITH GRADE 500E SE62 2.294kg/m² MESH

SMOKE DETECTORS
AUTOMATIC SMOKE DETECTION AND ALARM SYSTEM IS REQUIRED IN EACH SLEEPING ROOM OR WITHIN 3.0m OF EACH SLEEPING ROOM DOOR AND BE ABLE TO BE HEARD FROM THE OTHER SIDE OF THE CLOSED DOOR.
REFER APPROVED DOCUMENT NZBC F7
SMOKE ALARMS SHALL BE LISTED OR APPROVED BY A RECOGNIZED AUTHORITY AS COMPLYING WITH LEAST ONE (1) OF: UL 217, ULC S531, AS 3786, BS 5446 PART 1

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:	 PO Box 11019, Palm Beach 3118 Ph 09 239 2663 admin@fads.co.nz	Find us at www.franklinarchitectural.co.nz	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE PROJECT NOTES	DRAWN	KBR	DRAWING NUMBER 02 SCALE
									CHECKED	KB	
	RFI01	COUNCIL RFI		02/07/21					PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	6/07/2021	

APPROVED

KEY

SEDIMENT CONTROL FENCE

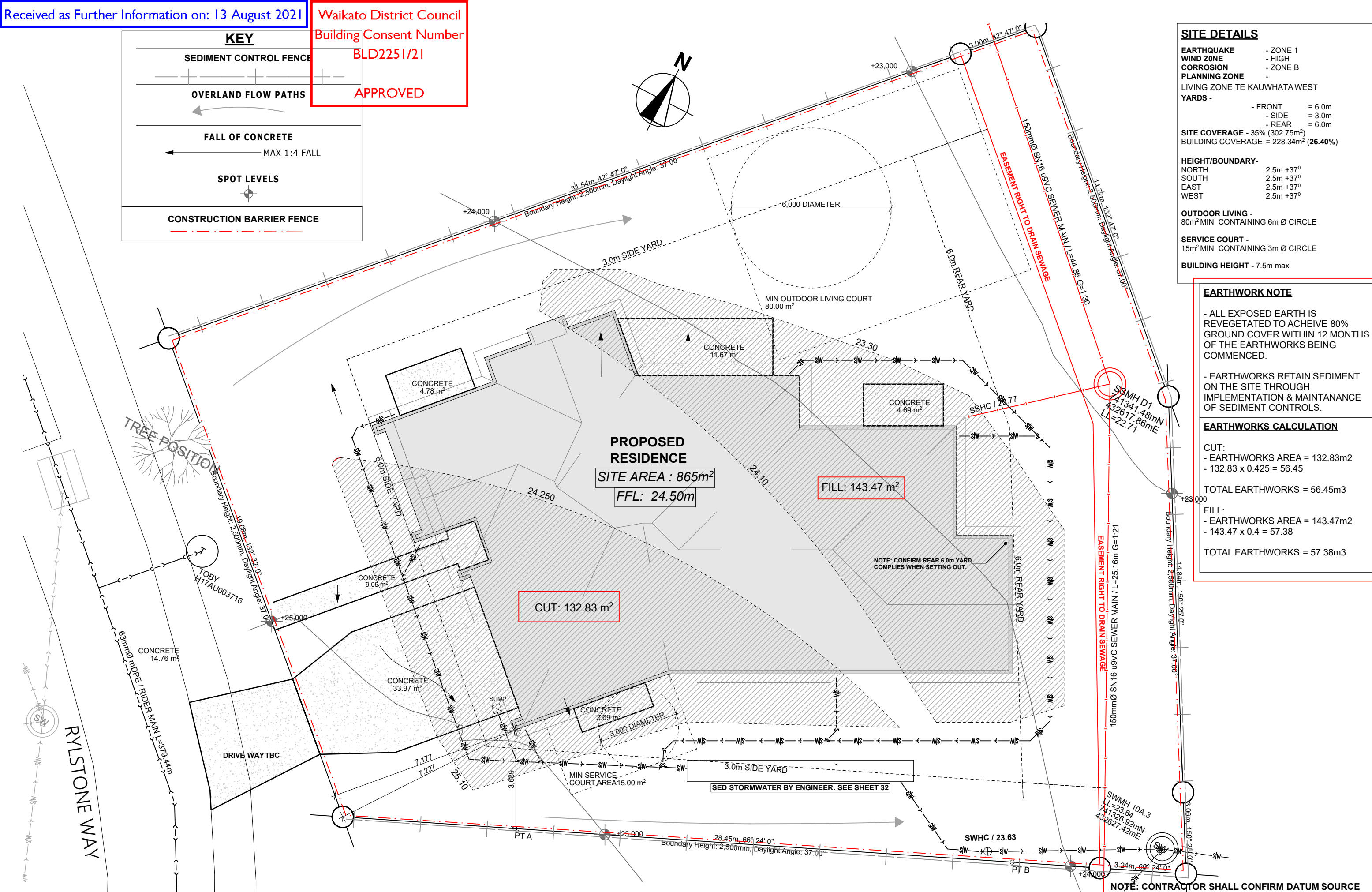
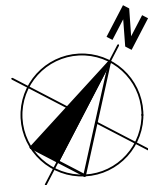
OVERLAND FLOW PATHS

FALL OF CONCRETE

MAX 1:4 FALL

SPOT LEVELS

CONSTRUCTION BARRIER FENCE



SITE DETAILS

EARTHQUAKE - ZONE 1
WIND ZONE - HIGH
CORROSION - ZONE B
PLANNING ZONE -
LIVING ZONE TE KAUWHATA WEST

YARDS -
- FRONT = 6.0m
- SIDE = 3.0m
- REAR = 6.0m

SITE COVERAGE - 35% (302.75m²)
BUILDING COVERAGE = 228.34m² (26.40%)

HEIGHT/BOUNDARY-
NORTH 2.5m +37°
SOUTH 2.5m +37°
EAST 2.5m +37°
WEST 2.5m +37°

OUTDOOR LIVING -
80m² MIN CONTAINING 6m Ø CIRCLE

SERVICE COURT -
15m² MIN CONTAINING 3m Ø CIRCLE

BUILDING HEIGHT - 7.5m max

EARTHWORK NOTE

- ALL EXPOSED EARTH IS REVEGETATED TO ACHIEVE 80% GROUND COVER WITHIN 12 MONTHS OF THE EARTHWORKS BEING COMMENCED.

- EARTHWORKS RETAIN SEDIMENT ON THE SITE THROUGH IMPLEMENTATION & MAINTANANCE OF SEDIMENT CONTROLS.

EARTHWORKS CALCULATION

CUT:
- EARTHWORKS AREA = 132.83m2
- 132.83 x 0.425 = 56.45

TOTAL EARTHWORKS = 56.45m3

FILL:
- EARTHWORKS AREA = 143.47m2
- 143.47 x 0.4 = 57.38

TOTAL EARTHWORKS = 57.38m3

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REV NO.	REVISION:	BY:	DATE:
RFI01	COUNCIL RFI		02/07/21
RFI02	COUNCIL RFI		03/08/21



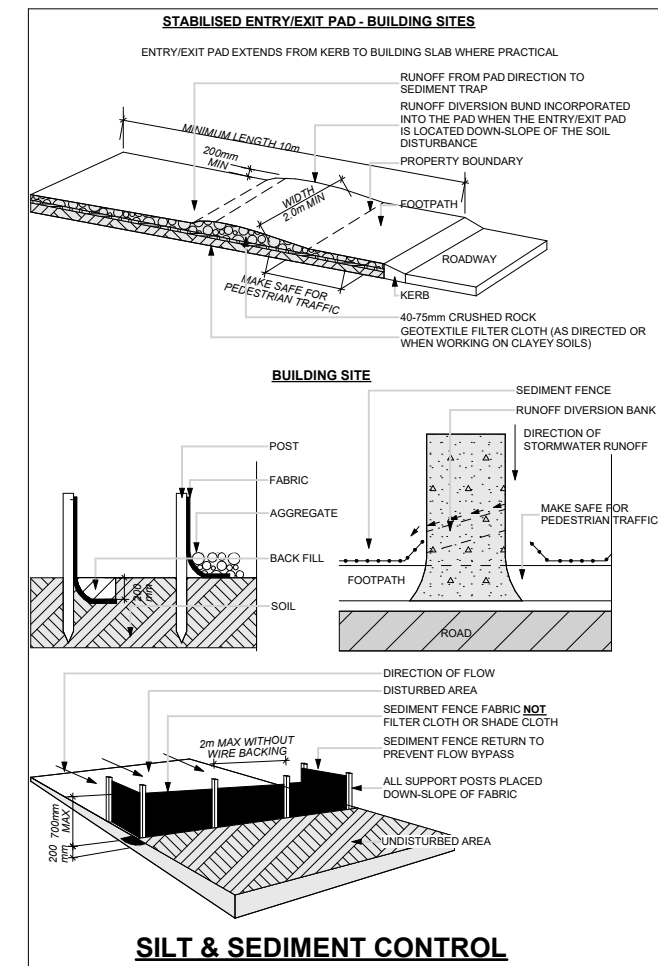
Find us at
www.franklinarchitectural.co.nz

PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA


DRAWING TITLE
SITE PLAN

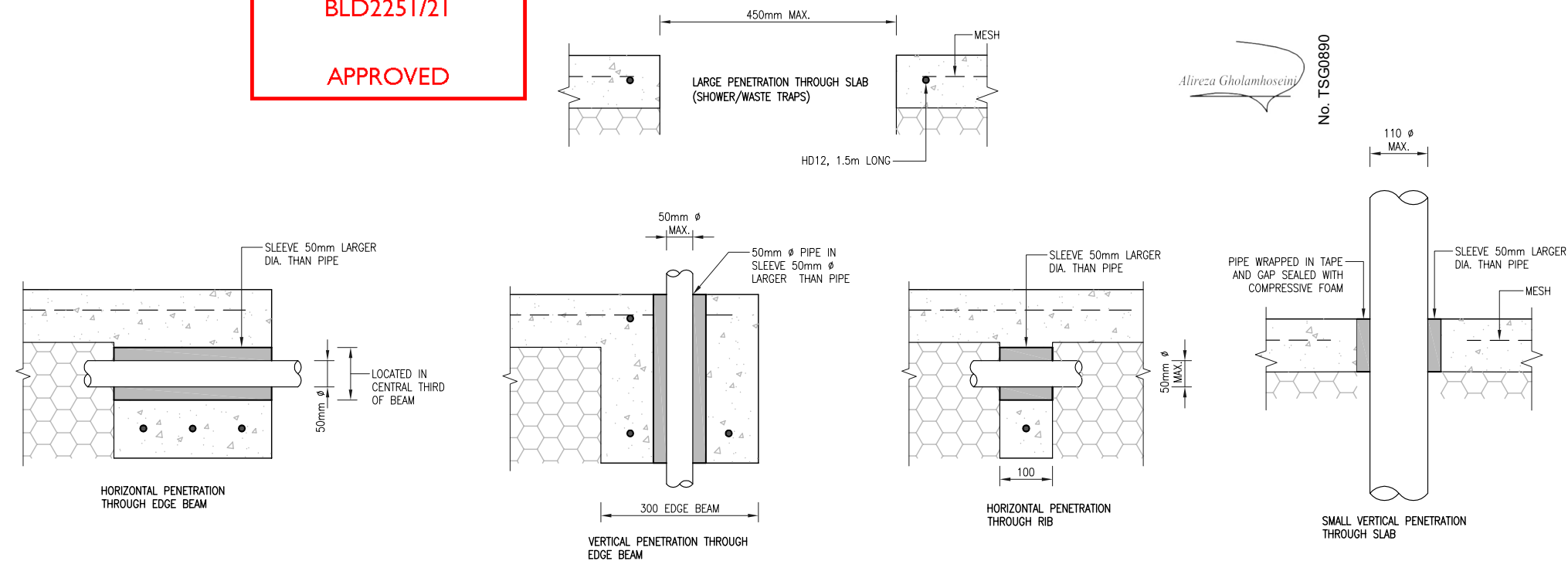
DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	03
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:125
PLOT DATE	11/08/2021	

APPROVED



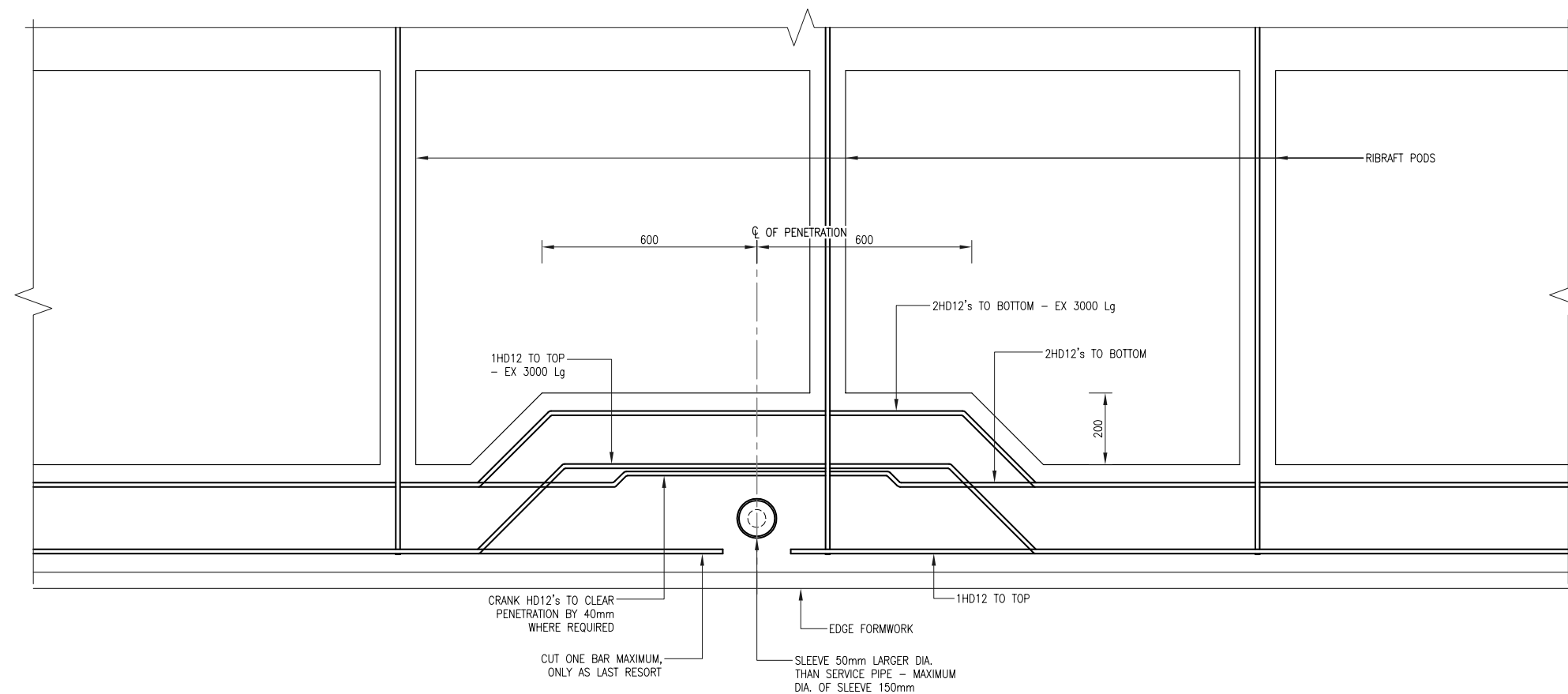
SEDIMENT AND RUNOFF CONTROL SHALL BE DESIGNED AND INSTALLED BY THE SITE LICENCED BUILDING PRACTITIONER PRIOR TO OR DURING PROJECT EARTHWORKS.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:	 <p>Find us at www.franklinarchitectural.co.nz</p> <p>PO Box 11019, Palm Beach 3118 Ph 09 239 2663 admin@fads.co.nz</p>	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE SITE & CONCRETE SETOUT PLAN	DRAWN	KBR	DRAWING NUMBER
	RFI01	COUNCIL RFI		02/07/21				CHECKED	KB	04
								PROJECT NUMBER:	21 3710	SCALE
								REVISION:	WD01	N.T.S
								PLOT DATE	6/07/2021	33%



DETAILING REQUIREMENTS FOR PIPE PENETRATIONS IN RIBRAFT FOUNDATION

SCALE 1:10



LOCALISED INCREASE IN WIDTH AT EDGE BEAM WHERE VERTICAL SERVICES UP TO 100mm Ø ARE REQUIRED

SCALE 1:15

NOTES:

1. Remove topsoil & grass sods, loose soil pockets and tree slumps. Fill all holes with compacted metal to form a level sub-base.
2. Do not scale from drawing, refer to architectural drawings for overall dimensions.
3. All setout dimensions & levels to be confirmed on site by contractor prior to construction.
4. All plumbing, drainage and central heating pipes to be placed as per location on architectural drawings.
5. In case of any discrepancy between architectural drawings and this drawing, Tilsley Engineering Ltd must be contacted immediately and no further works shall be undertaken until the discrepancy is eliminated.
6. In case of any unexpected ground conditions, contractor must consult a geotechnical engineer immediately.
7. Hardfill to be compacted in layers of 200mm max. Hardfill to be extended 1000mm min beyond perimeter.
8. Where underfloor heating is installed floor topping shall be increased to 110mm.
9. Concrete must be cured using appropriate curing method(s) for a minimum of seven days.
10. All concrete strength shall be 20MPa or 25MPa in sea spray zone.
11. Polystyrene pods shall be 1100x1100x300 deep.
12. If recess floor for shower is required, the polystyrene pods thickness shall be reduced to maintain constant slab thickness. Recesses shall be trimmed with 2HD12 all around.
13. Rib-Raft may crack due to various reasons of ambience and construction. This does not affect the structural integrity of the foundations.
14. Steel bars cast against and/or exposed to ground shall have 50mm cover. Bars with no DPM in ground shall have 75mm cover.
15. Surface finishes to be in accordance with NZS 3144:1987.
16. Reinforcement grades to NZS 4671:
HD: Deformed bars grade 500 MPA
D: Deformed bars grade 300 MPA
17. All bars shall have a min. 150mm end hook at their ends unless shown otherwise.
18. Planting trees should be avoided near the foundation, and must be kept a distance of 1.5 x the mature height of the tree from the footing.

Job No. 16125

Drawn By Z.H

Designed By Z.H.

Approved By A.G.

No. Revision/Issue Date

TILSLEY ENGINEERING LTD



27 Roulston street
PO Box 392
Pukekohe
Tel: 09 238 3245
info@teng.co.nz

Project Name and Address

Podfloor Foundation
Waikare Estate Limited

6 Rylstone Way
Te Kauwhata

Plan
Typical Standard Slab
Penetration Details

Date 30.04.2021

Scale As Shown

Sheet
503

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE
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REV NO.	REVISION:	BY:	DATE:

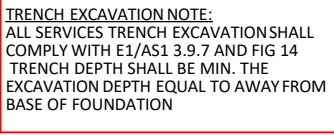
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PO Box 11019, Palm Beach 3118
Ph 09 239 2663 admin@fads.co.nz

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PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

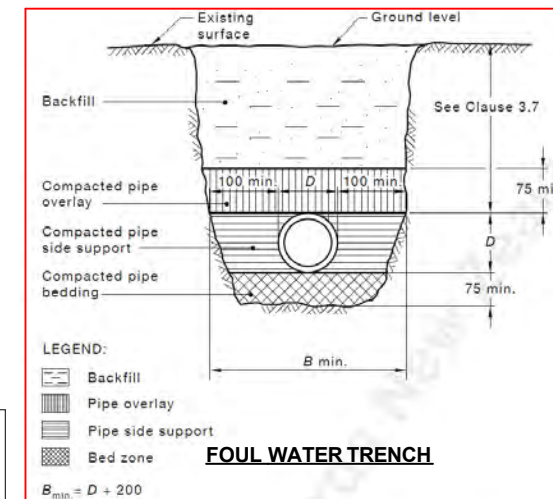
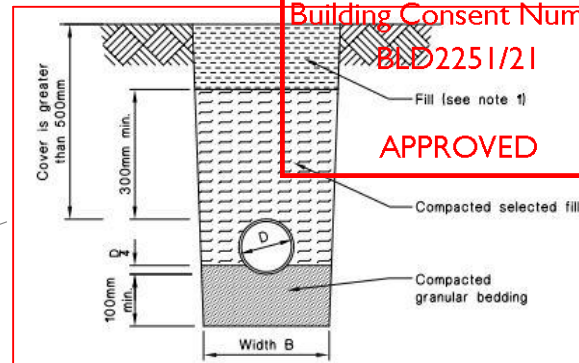
DRAWING TITLE
FOUNDATION DETAILS

DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	09
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	N.T.S
PLOT DATE	19/05/2021	



1.1 Pressure ranges

- 0.75 kPa for *town gas*,
- 1.13 kPa for natural gas, or
- 2.75 kPa for LPG.



KEY PLAN

IJ	INSPECTION JUNCTION
IB	INSPECTION BEND
ORG	OVERFLOW RELIEF GULLY
DP	DOWNPIPE
DV	DRAIN VENT
AAV	AIR ADMISSION VENT

PIPE SIZES & FALLS - AS3500.2 2018

KITCHEN SINK	65 ⁰	1:30 (MAX. 5 DU)
SHOWER	65 ⁰	1:20 (MAX. 6 DU)
BATH	65 ⁰	1:30 (MAX. 5 DU)
BASIN	65 ⁰	1:30 (MAX. 5 DU)
WC	100 ⁰	1:60
LAUNDRY TUB	65 ⁰	1:30

SANITARY SEWER LINES	100 ^Ø	1:60
STORMWATER LINES	100 ^Ø	1:120
DRAIN VENT	65 ^Ø	

NOTES:

ALL 65Ø UNDER FLOOR WASTE PIPES OVER 3.5m IN LENGTH SHALL BE VENTED.

HOT WATER PIPES SHALL BE INSULATED TO
NZS4305 AS MODIFIED BY H1/AS1 5.0

PIPE MATERIALS FOR HOT & COLD WATER

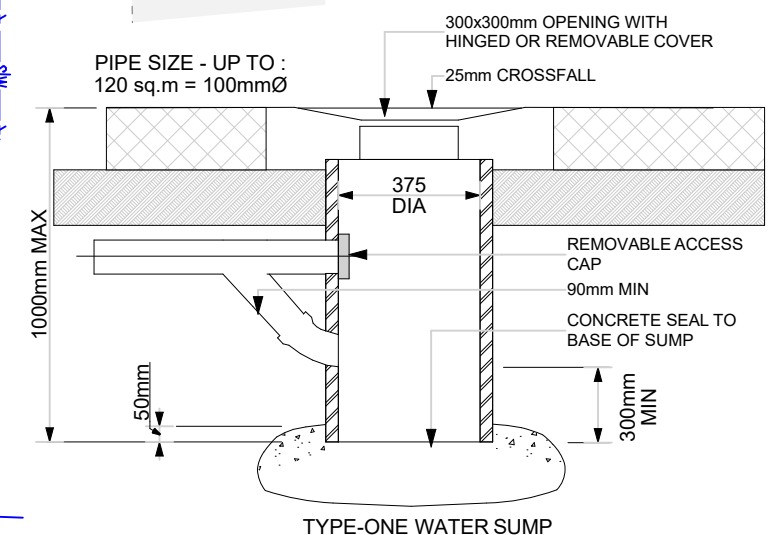
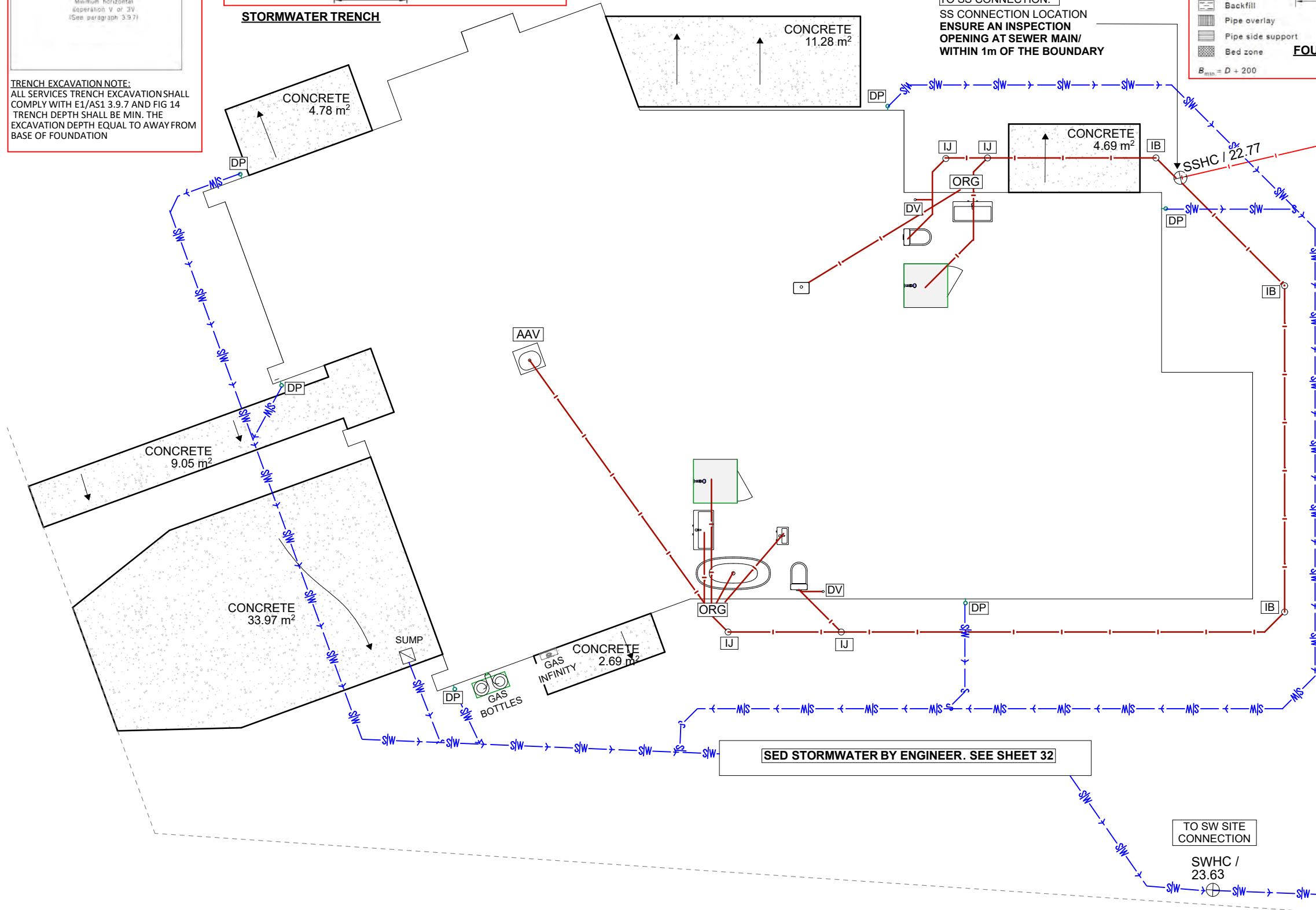
HOT & COLD SUPPLY- RELEVANT STANDARD
COPPER NZS3501
POLYBUTYLENE

COLD ONLY
uPVC _____ **AS/NZS 1477**

POLYETHYLENE
 NZS 7601-PRESSURE UP TO 0.9Mpa (TYPE 3)
 NZS 7602-PRESSURE UP TO 1.2Mpa (TYPE 5)
 NZS 7610-PRESSURE UP TO 1.2Mpa AS 1460:

PART 1 MECHANICAL JOINTING FITTINGS

PART 2 ELECTROFUSION FITTINGS
S/NZS4130 FOR PRESSURES UP TO 1.5 Mpa



TYPE-ONE WATER SUMP

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**PROPOSED RESIDENCE
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AT
RYLSTONE WAY, TE KAUWH**

DRAWING TITLE

PLUMBING PLAN/ DETAILS

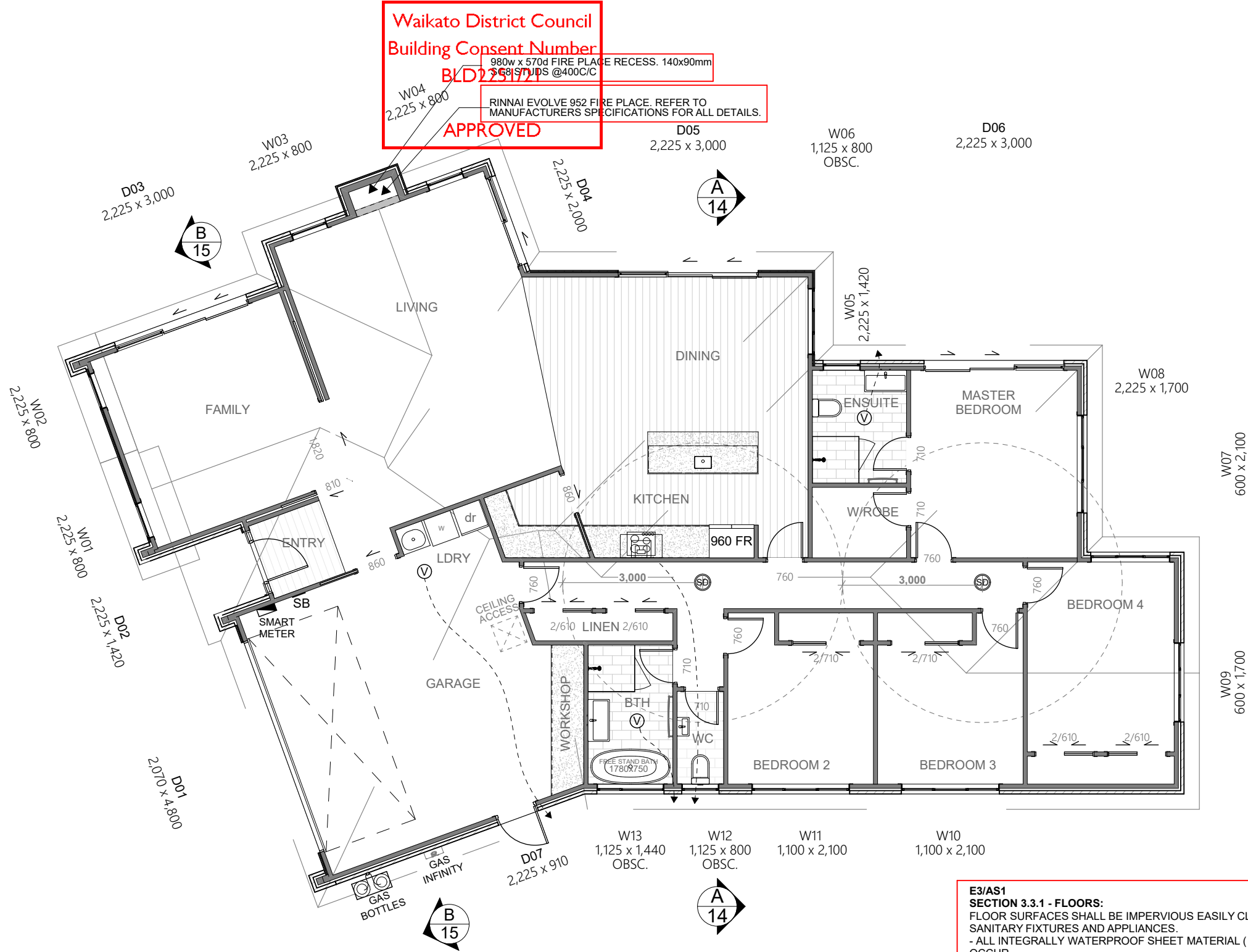
DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	09
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:100,
PLOT DATE	6/07/2021	1:

Waikato District Council
Building Consent Number
BLD2251721

980w x 570d FIRE PLACE RECESS. 140x90mm
368 STUDS @400C/C

RINNAI EVOLVE 952 FIRE PLACE. REFER TO
MANUFACTURERS SPECIFICATIONS FOR ALL DETAILS.

APPROVED



FLOORING MEASUREMENTS	
ENTRY	VINYL PLANKING 2.67 m ²
KITCHEN	VINYL PLANKING 31.05 m ²
DINING	
BATHROOM	TILES 4.42 m ²
	TILES 1.00 m ²
ENSUITE	TILES 3.89 m ²
	SHOWER TILES 1.00 m ²
WC	TILES 1.99 m ²

NOTES

F.F.L. = 24.50m

FLOOR AREA OA FRAME (m²): **221.56**

FLOOR AREA OA BRICK (m²): **228.22**

CEILING HEIGHT = 2.42m

WINDOW/DOOR HEAD HEIGHTS :2.225m
(TO SOFFIT)

INTERNAL DOOR HEIGHT : 2.0m

SMOKE DETECTORS: **(SD)**

MAX. 3m FROM BEDROOM DOORS

MECHANICAL VENTILATION: **(V)**

MECHANICAL VENTILATION TO BE DUCTED TO OUTSIDE VIA SOFFIT (SHELTERED).
NOTE: MECHANICAL VENTILATION FLOW RATE TO COMPLY WITH G4/AS1 1.2.5:

MIN 50L/s FOR COOKTOPS

MIN 25L/s FOR SHOWERS AND BATHS

FLOOR FINISHES KEY

SLIP RESISTANCE - MAIN ENTRY PATH
BROOMED (CLASS 5 OR 6)(6)
OR WOOD FLOAT FINISH (CLASS U2)

CARPET

VINYL FLOORING

ARDEX WATERPROOFING WPM 002
SUPERFLEX BATHROOM AND BALCONY
MEMBRANE SYSTEM & FLOOR TILING SYSTEM
SHALL BE PROVIDED TO ALL WET AREAS
BELOW FLOOR OVERLAYS INSTALLED TO
MANUFACTURERS REQUIREMENTS BY AN
APPROVED INSTALLER, REFER
SPECIFICATIONS.

ARTIFICIAL LIGHTING COMPLYING WITH NZBC G8 SHALL BE
PROVIDED ALONG ACCESS MAIN ROUTE

E3/AS1

SECTION 3.3.1 - FLOORS:

FLOOR SURFACES SHALL BE IMPERVIOUS EASILY CLEANED IN SPACES CONTAINING SANITARY FIXTURES OR APPLIANCES AND EXTEND MINIMUM 1.5m FROM ALL
SANITARY FIXTURES AND APPLIANCES.
- ALL INTEGRALLY WATERPROOF SHEET MATERIAL (e.g. POLYVINYLCHLORIDE) WITH SEALED JOINTS AND SEALED OR COVED AT EDGES WHERE WATER SPLASH MAY
OCCUR
- CERAMIC OR STONE TILES WITH 6% MAX. WATER ABSORPTION, WATERPROOF GROUTED JOINTS AND BEDDED WITH AN ADHESIVE SPECIFIED BY THE TIME
MANUFACTURER AS BEING SUITABLE FOR THE TILES, SUBSTRATE MATERIAL, AND THE ENVIRONMENT OF USE. - SLAB ON GRADE CONCRETE FLOOR HAVING A
STEEL TROWEL OR POLISHED FINISH, SEALED AT EDGES WHERE WATER SPLASH MAY OCCUR, WHEN USED IN A DOMESTIC LAUNDRY WITHIN A GARAGE.

SECTION 3.1.2 - WALLS:

WALLS SHALL SATISFY THE PERFORMANCE FOR IMPERVIOUS AND EASILY CLEANED SURFACES IN AREAS ADJACENT TO SANITARY FIXTURES OR SANITARY
APPLIANCES OR OTHERWISE LIKELY TO BE SPLASHED IN THE COURSE OF THE INTENDED USE OF THE BUILDING.
- INTEGRALLY WATERPROOF SHEET (e.g. POLYVINYLCHLORIDE) WITH SEALED JOINTS.
- CERAMIC OR STONE TILES WITH 6% MAX. WATER ABSORPTION, WATERPROOF GROUTED JOINTS AND BEDDED WITH AN ADHESIVE SPECIFIED BY THE TIME
MANUFACTURER AS BEING SUITABLE FOR THE TILES, SUBSTRATE MATERIAL, AND THE ENVIRONMENT OF USE. - SHEET LININGS WITH A SEMIGLOSS OR GLOSS
COATING OR A HARD-WEARING LOW-SHEEN LATEX PAINT CONTAINING MOULD INHIBITORS.
- WATER-RESISTANT SHEET LININGS FINISHED WITH DECORATIVE HIGH-PRESSURE LAMINATE OR FACTORY-APPLIED POLYURETHANE OR RESIN AND INSTALLED
WITH IMPERVIOUS JOINTS

SECTION 3.2.1- JOINTS TO FLOORS:

JOINTS BETWEEN FIXTURES AND IMPERVIOUS FLOOR FINISHES
WHERE SANITARY FIXTURES ABUT IMPERVIOUS FLOOR FINISHES, THE BASE OF THE FIXTURE MUST BE SEALED TO THE IMPERVIOUS FLOOR FINISH.

SECTION 3.2.2-JOINTS TO WALLS:

JOINTS BETWEEN FIXTURES AND WALL LININGS WHERE BATHS, BASINS, TUBS, OR SINKS ABUT IMPERVIOUS LININGS, THE JOINT BETWEEN FIXTURE AND LINING
SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.

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REFER TO SPECIFICATIONS FOR RELEVANT TRADE
CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS
CONTRACT.

REV NO.	REVISION:	BY:	DATE:
RFI01	COUNCIL RFI		02/07/21

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Architectoral
design
PO Box 11019, Palm Beach 3118
Ph 09 239 2663 admin@fads.co.nz

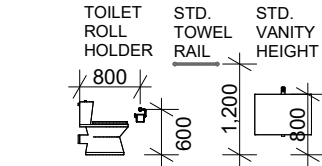
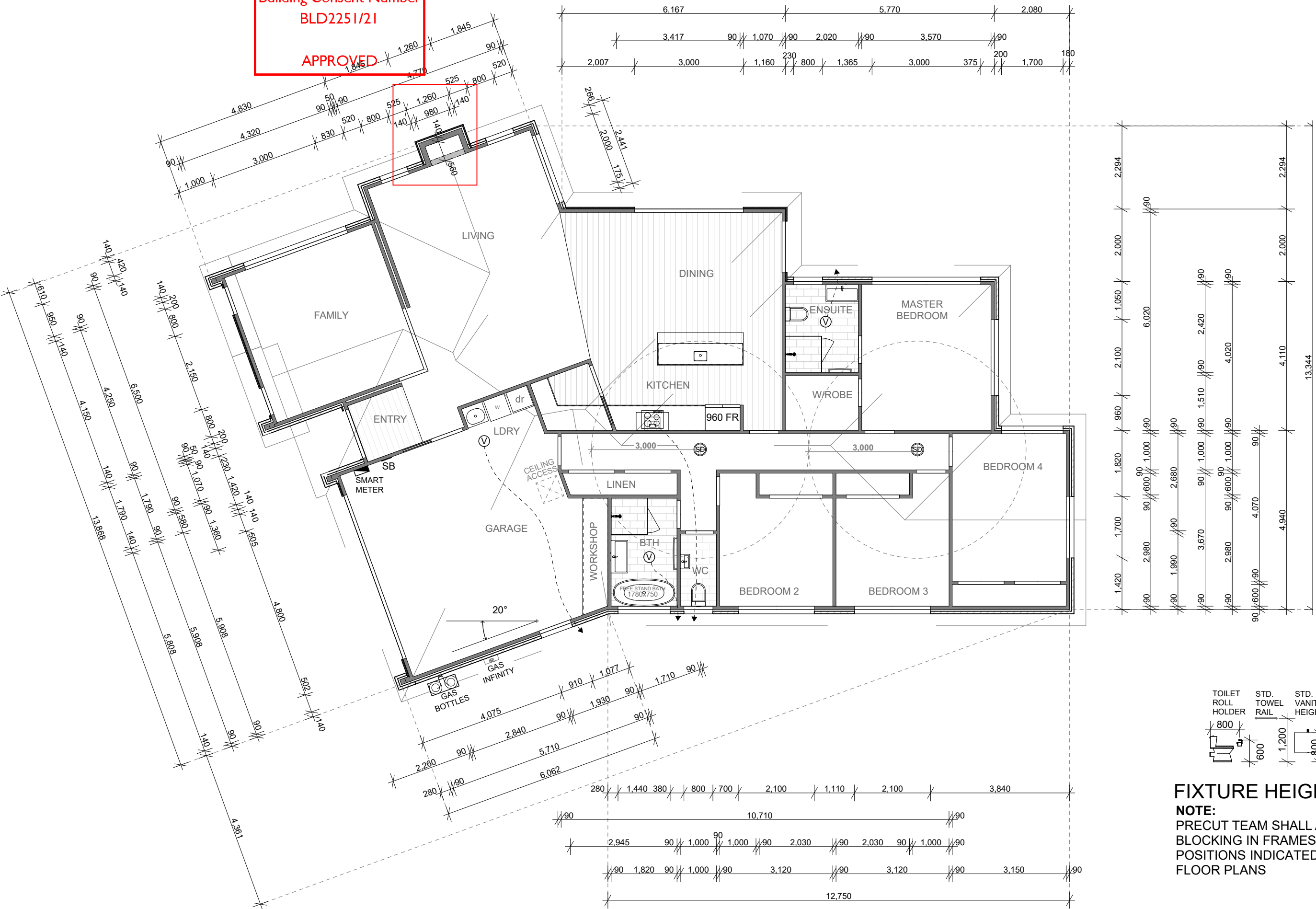
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PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

DRAWING TITLE
FLOOR PLAN

DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	10
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:100,
PLOT DATE	6/07/2021	

Waikato District Council
Building Consent Number
BLD2251/21
APPROVED



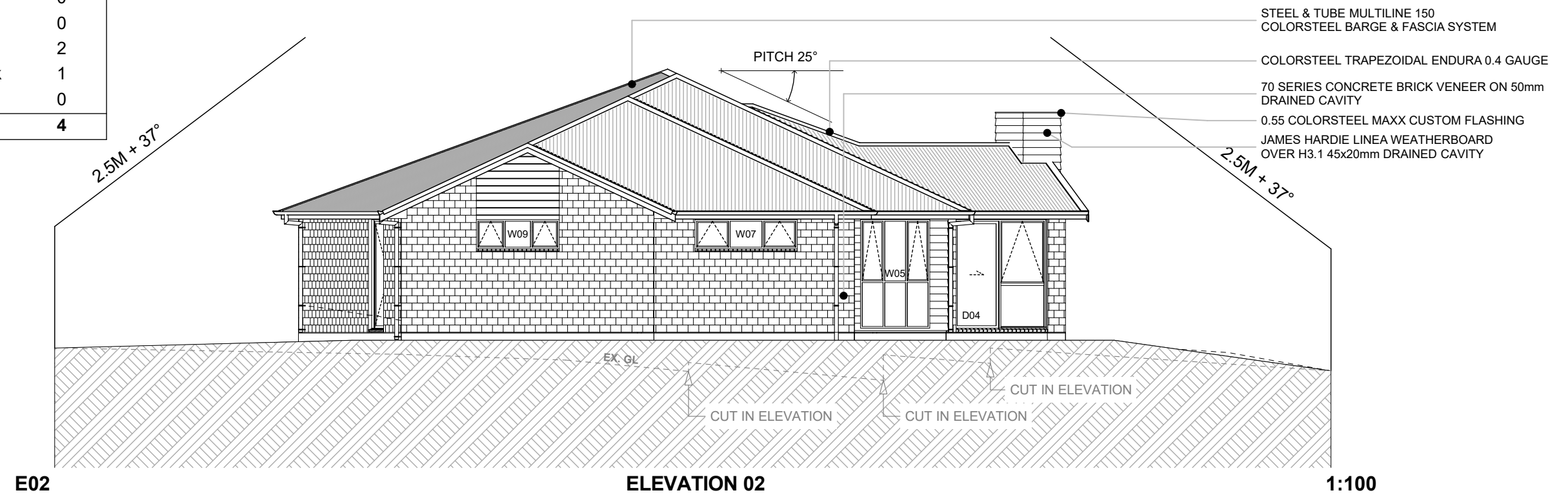
FIXTURE HEIGHTS
NOTE:
PRECUT TEAM SHALL ALLOW
BLOCKING IN FRAMES AT
POSITIONS INDICATED ON
FLOOR PLANS

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	RFI01	COUNCIL RFI		02/07/21					CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	6/07/2021	



BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4



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REV NO.	REVISION:	BY:	DATE:														

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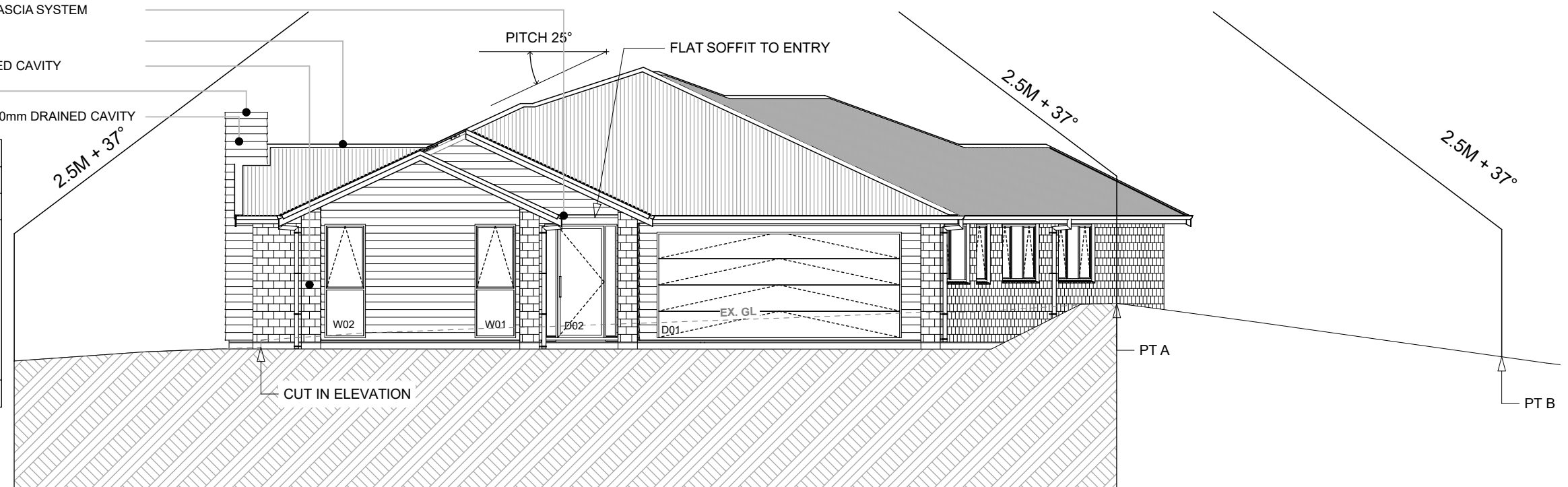
E03

ELEVATION 03

1:100

STEEL & TUBE MULTILINE 150 COLORSTEEL BARGE & FASCIA SYSTEM
COLORSTEEL TRAPEZOIDAL ENDURA 0.4 GAUGE
70 SERIES CONCRETE BRICK VENEER ON 50mm DRAINED CAVITY
0.55 COLORSTEEL MAXX CUSTOM FLASHING
JAMES HARDIE LINEA WEATHERBOARD OVER H3.1 45x20mm DRAINED CAVITY

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		4




20° DIFFERENTIATION FROM OTHER ELEVATIONS TO ACCOMODATE THE CHANGE IN ANGLE OF THE HOUSE

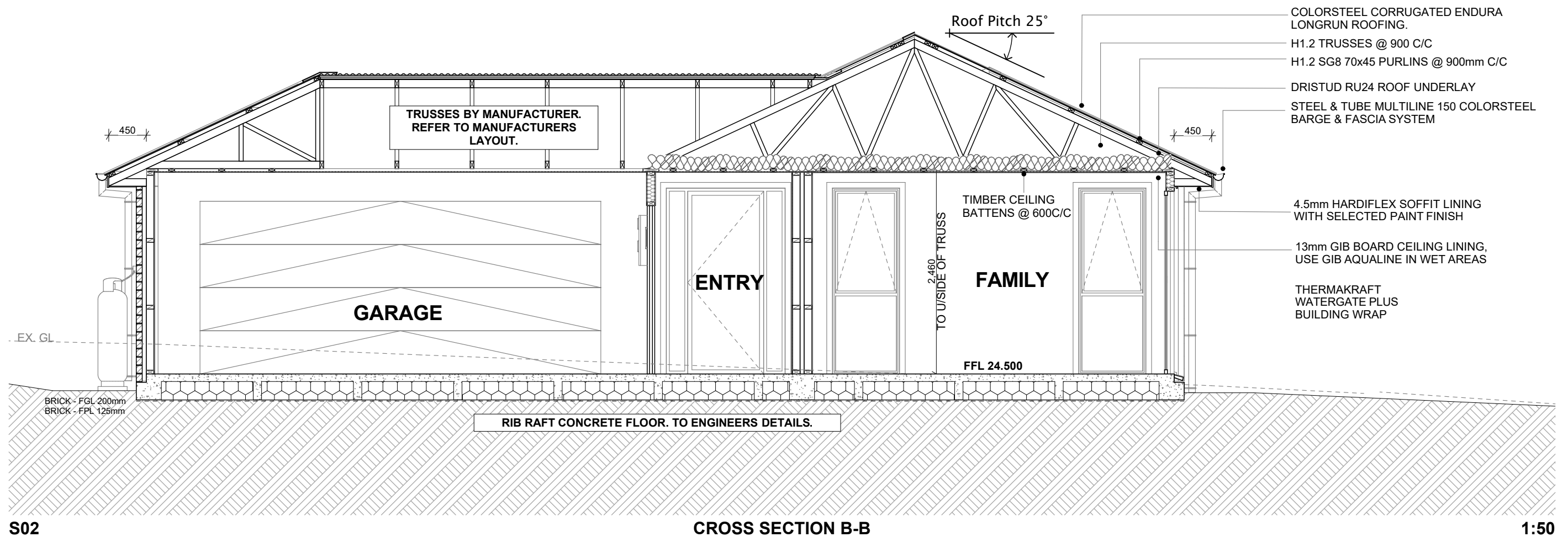
E04

ELEVATION 04


1:100

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									CHECKED	KB	
									PROJECT NUMBER:	21 3710	SCALE
									REVISION:	WD01	1:100
									PLOT DATE	19/05/2021	

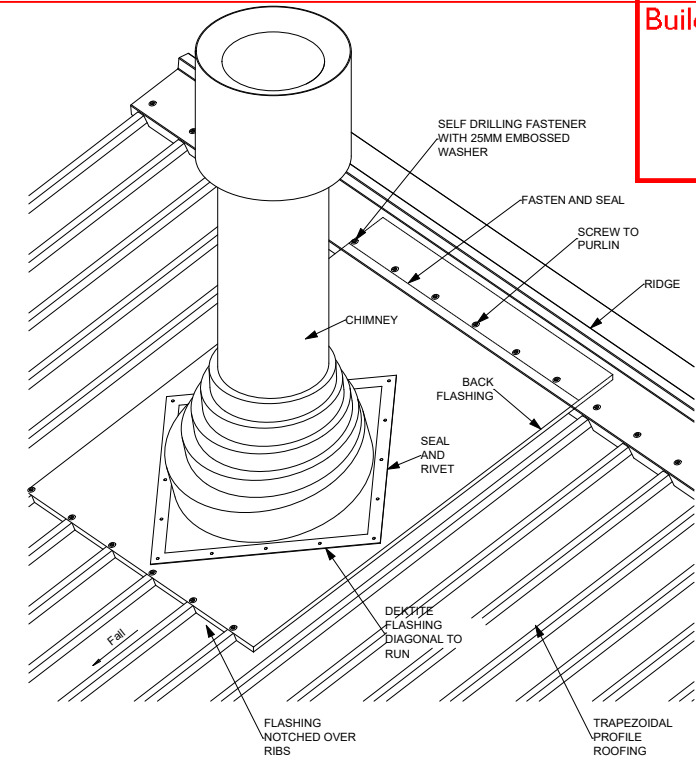


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									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

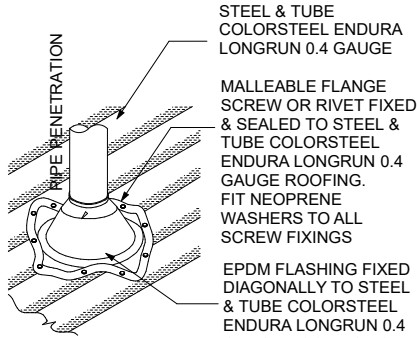
Waikato District Council
Building Consent Number
BLD2251/21

APPROVED



CHIMNEY PENETRATION/FLASHING DETAIL
N.T.S

ROOF PITCH 25°
STEEL & TUBE TRAPEZOIDEL ENDURA
LONGRUN 0.4 GAUGE
LIGHT ROOF
WIND ZONE : HIGH
DURABILITY: B



NOTE:
DETAIL IS FOR FOR PIPES UP TO 85mm DIAMETER.
NZMRM CODE OF PRACTICE ALLOWS LARGER
THAN 85mm DIAMETER PENETRATION PROVIDED
FLASHING DOES NOT EXTEND TO MORE THAN 50%
OF PAN WIDTH.



KEY PLAN

DP	80Ø COLORSTEEL DOWNPIPE 0-25° - 100m² PER DP BASED ON 100mm RAIN HR.
----	OUTSIDE LINE OF BUILDING BELOW
◀	FALL OF GUTTER TOWARDS DP

HIGH WIND ZONES. WHERE ROOF PITCH IS 10° OR
GREATER

ROOF CLADDINGS SHALL MEET REQUIREMENTS OF
NZBC E2.2 , TABLE 7 AND CONSTRUCTED TO
PARAGRAPH 8.1.2 TO PARAGRAPH 8.5

GUTTERS SHALL COMPLY WITH E1/AS1.
WHERE GUTTER DEPTH IS REDUCED TO ALLOW
VALLEY GUTTER ENTRY REDUCED DEPTH SHALL BE
USED TO CALCULATE GUTTER CAPACITY

METAL FLASHINGS - GENERAL DIMENSIONS

SEE NOTES BELOW

RIDGES

TRANSVERSE FLASHING OVER ROOFING REFER TO
APRONS:
GENERAL

BARGES

OVERLAP TO BARGE BOARD 50mm EXCL.
DRIP EDGE

WINDOWS

WINDOW FLANGE CLEARANCE FOR CLADDINGS ON CAVITIES 5mm

COVER TO WINDOW/DOOR JAMB FLANGE 10mm min.

COVER TO WINDOW/DOOR SILL FLANGE 8mm min.

SILLS

SILL FLASHING SLOPE FLAT

HEADS

HEAD FLASHING SLOPE 15° min.

LAP UNDER CLADDING ABOVE 35mm min

ANTICAPILLARY GAP TO CLADDING 5mm

TOTAL UPSTAND 40mm min.

CORNERS

CORNER FLASHING 50x50mm min.

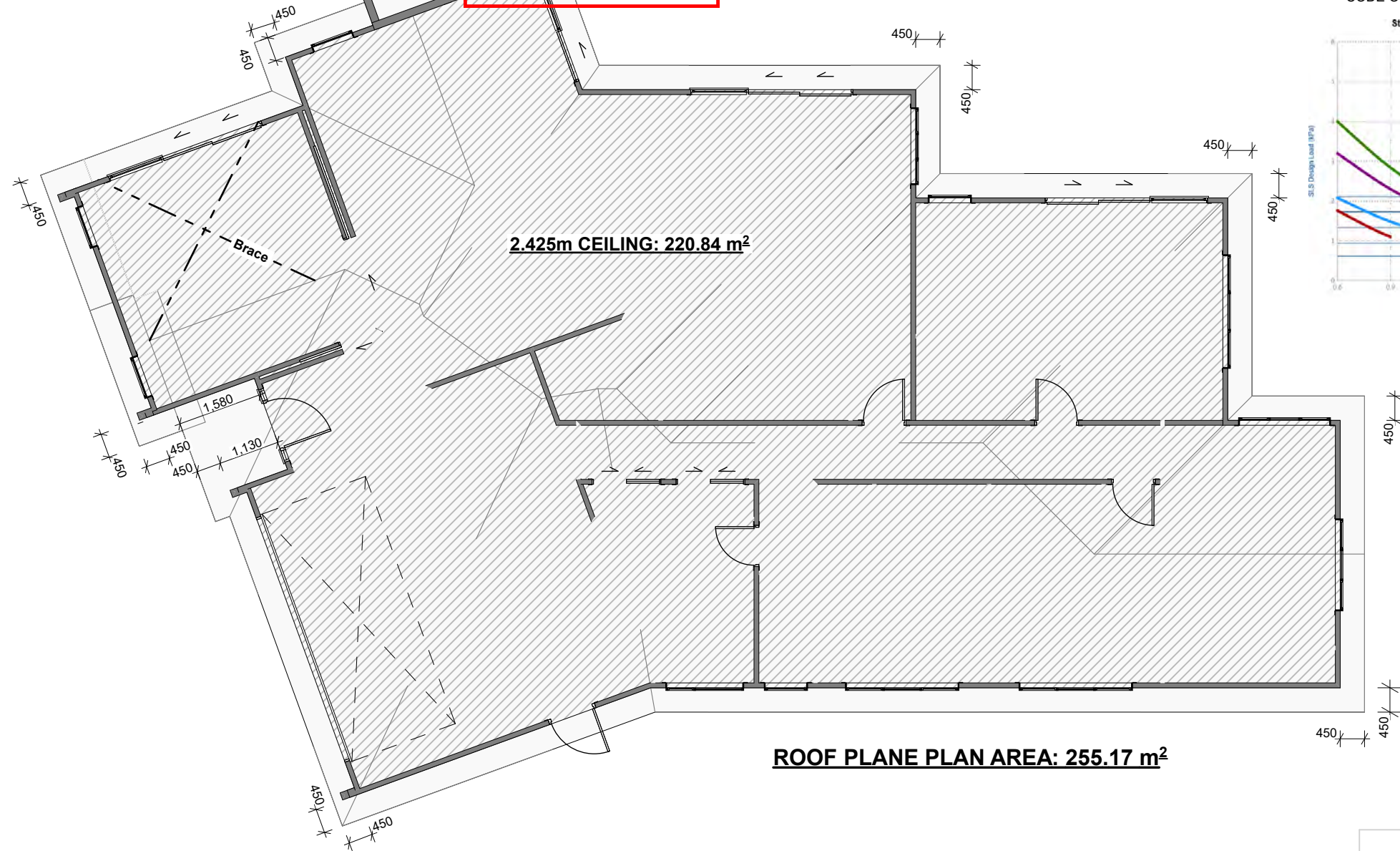
NOTES:

DIMENSIONS APPLY UNLESS OTHERWISE
DIMENSIONED IN DETAILS

DIMENSIONS EXCLUDE ANY SOFT EDGE OR TURN
DOWN TO ROOFING.

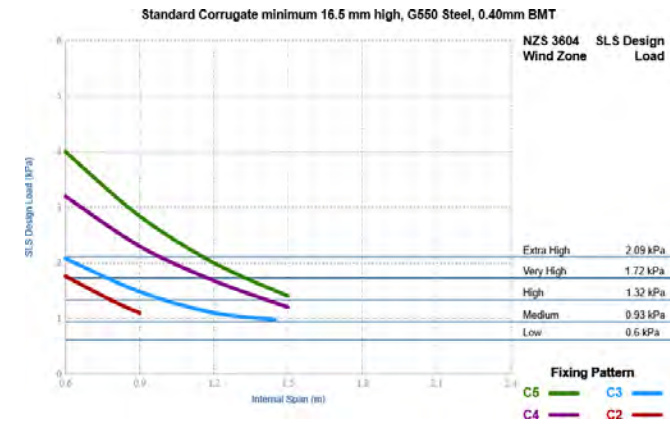
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	RFI01	COUNCIL RFI		02/07/21					CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	6/07/2021	



FASTENING LAYOUT SHALL BE:

C3 FASTENING PATTERN - 3 PER SHEET
HIT 1, MISS 2, MISS 3...
IN ACCORDANCE WITH NZ METAL ROOF AND WALL CLADDING
CODE OF PRACTICE v3.0



ROOF PITCH 25°
STEEL & TUBE TRAPEZOIDEL ENDURA
LONGRUN 0.4 GAUGE
LIGHT ROOF
WIND ZONE : HIGH
DURABILITY: C

ROOF PLANE DIAGONAL BRACE
ROOF PLANE DIAGONAL BRACE
A PAIR OF TENSIONED & CROSSED
LUMBERLOK STRIP BRACE OVER TOP
CHORDS/RAFTERS INSTALLED AT 45° ± 5°
TO THE RAFTER OR PURLIN LINE

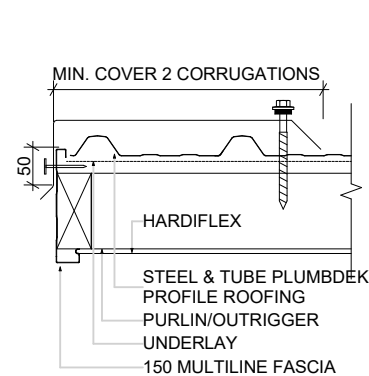
ROOF FRAMING & FIXING INFORMATION: NZS 3604:2011

OUTRIGGERS
MIN. 90X45 @ 900CRS. OUTRIGGERS
EXTEND BEYOND THEIR SUPPORTS
600MM MAX. FLYRAFTERS: MIN 90X45
FIXED TO OUTRIGGER ENDS, BLOCKING
SIZE SHALL MATCH OUTRIGGER SIZE.
PURLINS SHALL BE FIXED TO BLOCKING
PIECES/FLYRAFTERS OUTRIGGERS SHALL
BE FIXED AS FOR PURLIN FIXINGS

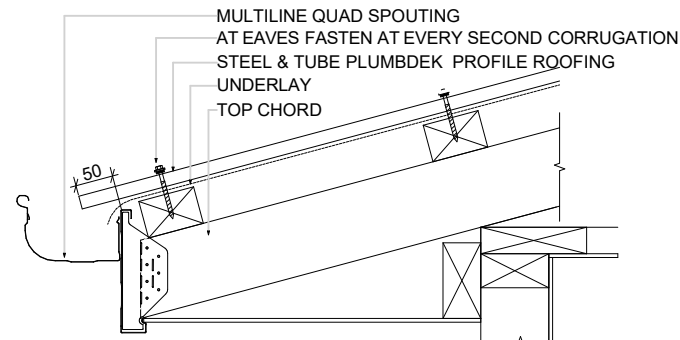
TRUSSES - H1.2 SG 8 @ 900mm C/C

LONGRUN: REFER TABLE 10.10:
- H1.2 SG8 70X45 PURLINS ON THEIR
FLATS @ 900mm C/C

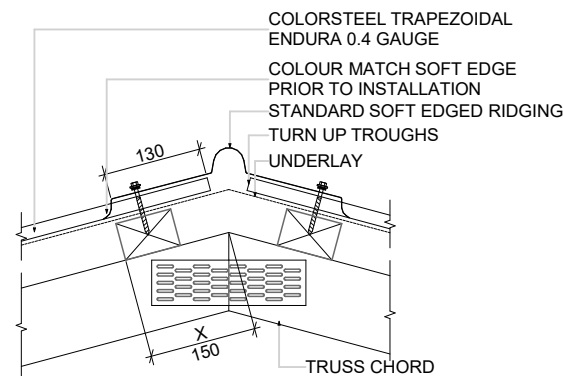
PURLIN FIXINGS SHALL BE:
- T: 1/10G SELF DRILLING SCREW,80mm
LONG (OR 5.5KN ALTERNATIVE)



BARGE DETAIL

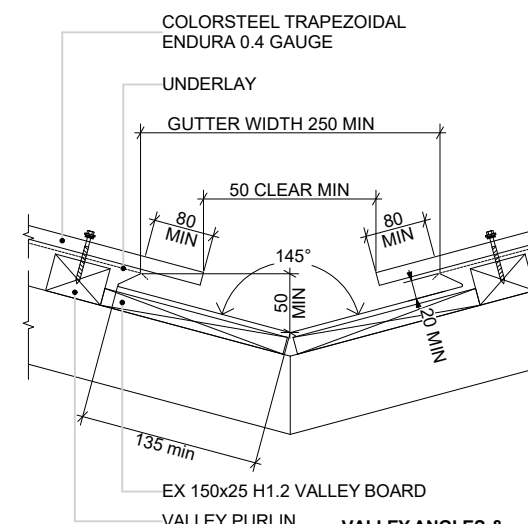


EAVES/GUTTER DETAIL



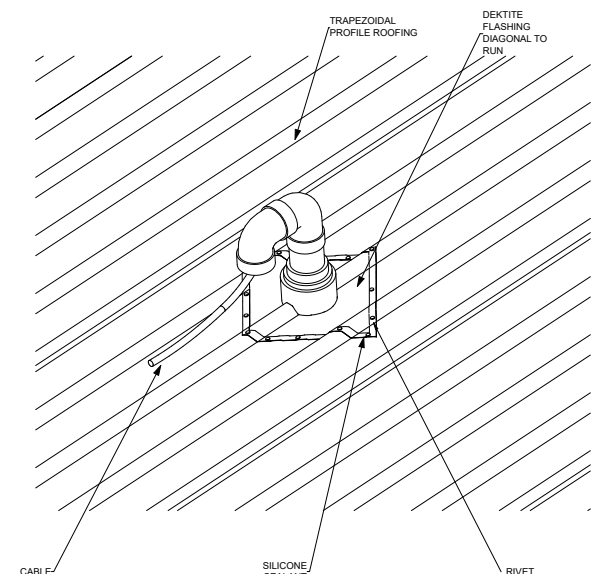
HIP DETAIL

HIP FLASHING	
ROOF PITCH	25°
DIMENSION X	150



VALLEY DETAIL

VALLEY ANGLES & CATCHMENTS	
ROOF PITCH	25°
VALLEY ANGLE	145
MAXIMUM CATCHMENT	43m ²



ROOF PENETRATION DETAIL
NOT TO SCALE

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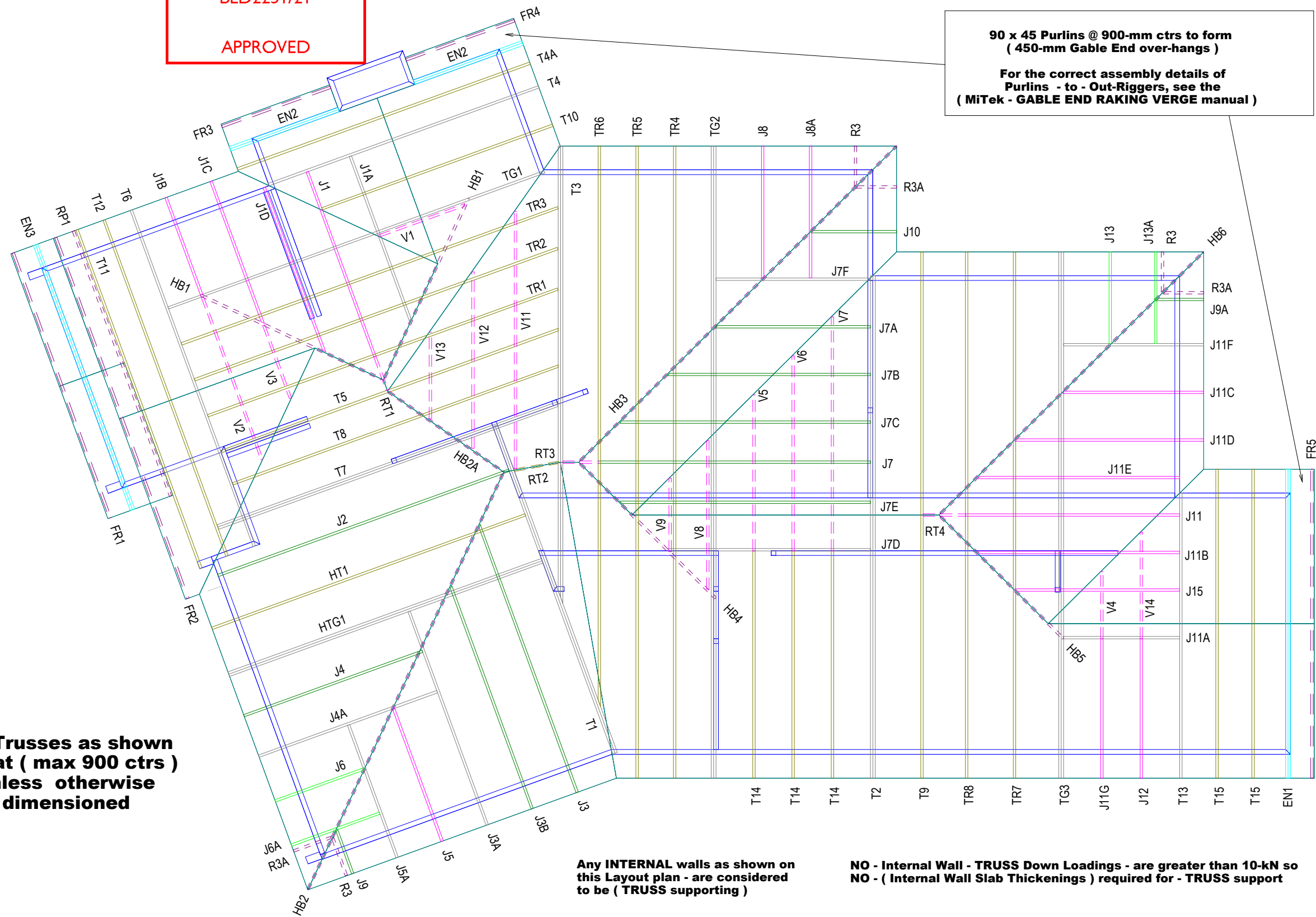


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PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

DRAWING TITLE
ROOF FRAMING & SETOUT PLAN

DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	18
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:100, 1:10
PLOT DATE	19/05/2021	



Site Address :
Waikare Estate Ltd lot-69
6 Rylstone Way
Te-Kauwhata Waikato

Sheet Title :
**For Building Consent
Buildable Truss Layout**

Date : 10 Apr.2021
Scale : NTS

Drawn : M Newton
System : MiTek 20/20

Job Details:
Roof Pitch : 25.00deg
Roof Material : Longrun
Ceiling Material : Gib Board 13mm
Wind Zone : High
Roof Snow Load : 0.000kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 450mm



Job Title :
BTL00031
Sheet :
1
Revision Number :

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:		Find us at www.franklinarchitectural.co.nz	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE BUILDABLE TRUSS LAYOUT	DRAWN	KBR	DRAWING NUMBER 19 SCALE
									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

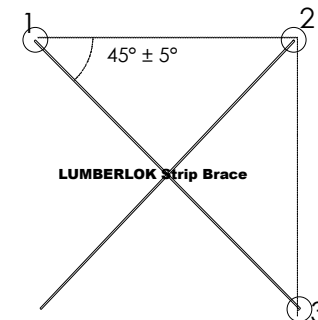
Truss Fixings

- X - LUMBERLOK JH47x90 Joist Hanger
Z - LUMBERLOK JH47x120 Joist Hanger
P - LUMBERLOK JH47x190 Joist Hanger
E - LUMBERLOK JH95x165 Joist Hanger
O - Pair of LUMBERLOK CT200 Ceiling Ties
H - LUMBERLOK CT400 Cyclone Tie
B - LUMBERLOK CT600 Cyclone Tie
M - Pair of LUMBERLOK Multi Grips
NP - LUMBERLOK Nailon Plate
N - LUMBERLOK N21 Diagonal Cleat
V - SINGLE - LUMBERLOK CPC40 Cleats
W - Pair of LUMBERLOK CPC40 Cleats
K - LUMBERLOK TTP 16kN Truss to Top Plate set
G - LUMBERLOK TTP 9kN Truss to Top Plate set

Roof Bracing

Refer to:
LUMBERLOK Roof Bracing Specifications
brochure 08/2006 for end fixing details.

The brace must be located such that it forms an angle of $45^\circ \pm 5^\circ$ to the wall



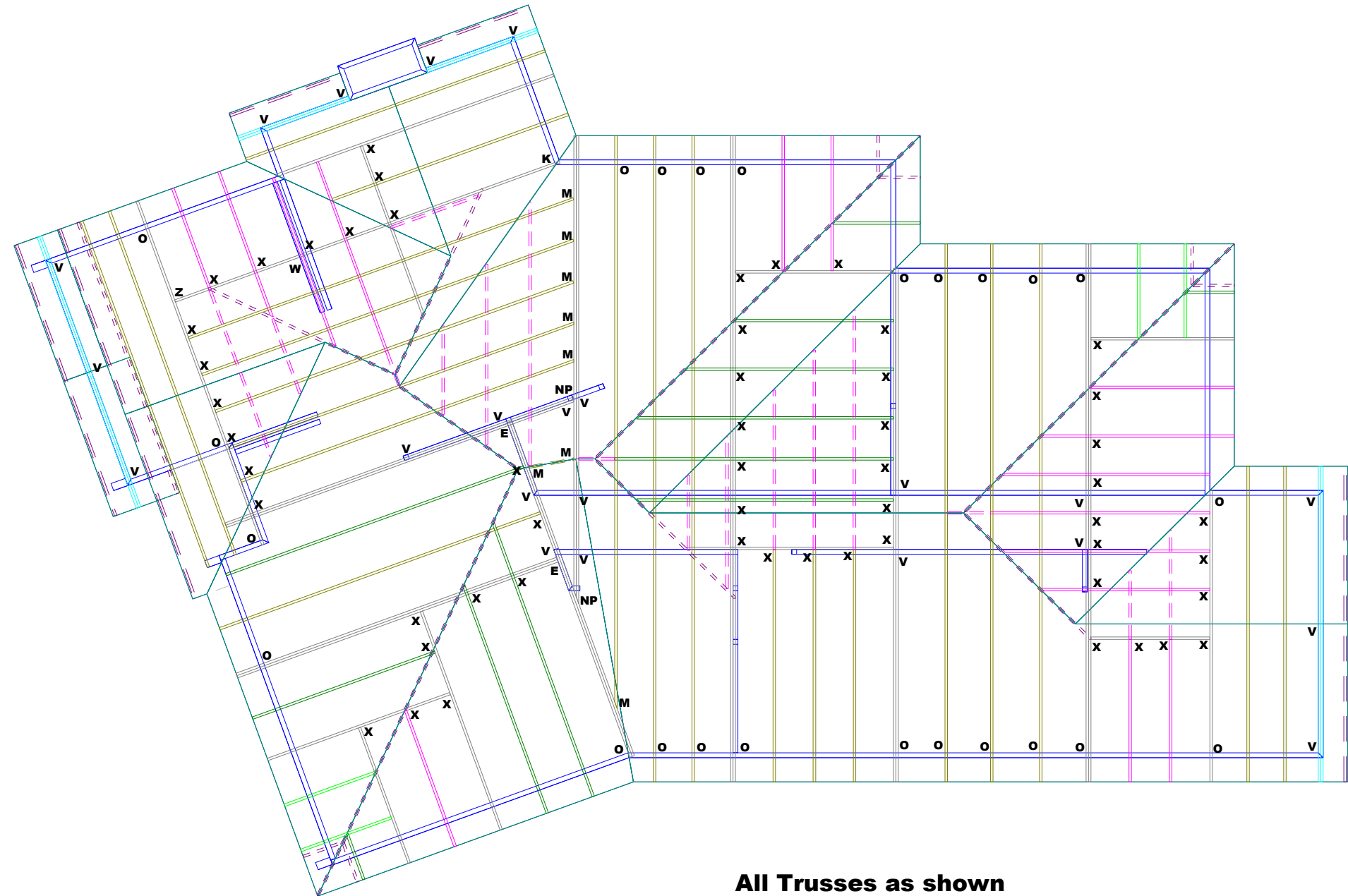
NOTES:

All other areas must have at the minimum
2/ 90x3.15mm skew nails + 2 wire dogs
for truss to top plate connections.

Refer to:
LUMBERLOK Timber Connectors Characteristic
Loadings Data brochure 03/4

Any INTERNAL walls as shown on
this Layout plan - are considered
to be (TRUSS supporting)

NO - Internal Wall - TRUSS Down Loadings - are greater than 10-kN so
NO - (Internal Wall Slab Thickenings) required for - TRUSS support



**All Trusses as shown
are at (max 900 ctrs)
unless otherwise
dimensioned**



Site Address :
Waikare Estate Ltd lot-69
6 Rylstone Way
Te-Kauwhata Waikato

Sheet Title :
**For Building Consent
Truss Fixings & Roof Bracing**

Date : 10 Apr, 2021
Scale : NTS

Drawn : M Newton
System : MiTek 20/20


Job Details:
Roof Pitch : 25.00deg
Roof Material : Longrun
Ceiling Material : Gib Board 13mm
Wind Zone : High
Roof Snow Load : 0.000kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 450mm



Job Title :
BTL00031
Sheet :
2
Revision Number :


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								CHECKED	KB	
								PROJECT NUMBER:	21 3710	
								REVISION:	WD01	
								PLOT DATE	19/05/2021	

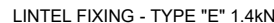
APPROVED



TYPE B
4.7kN



UP TO 2.4M = 90x45 RAD SG8 H1.2 600mm CTRS



LINTEL FIXING - TYPE "F" 4.0kN

L INTEL FIXING - TYPE "G" 7.5kN

1 INTEL FIXING - TYPE "H" 13.5kN

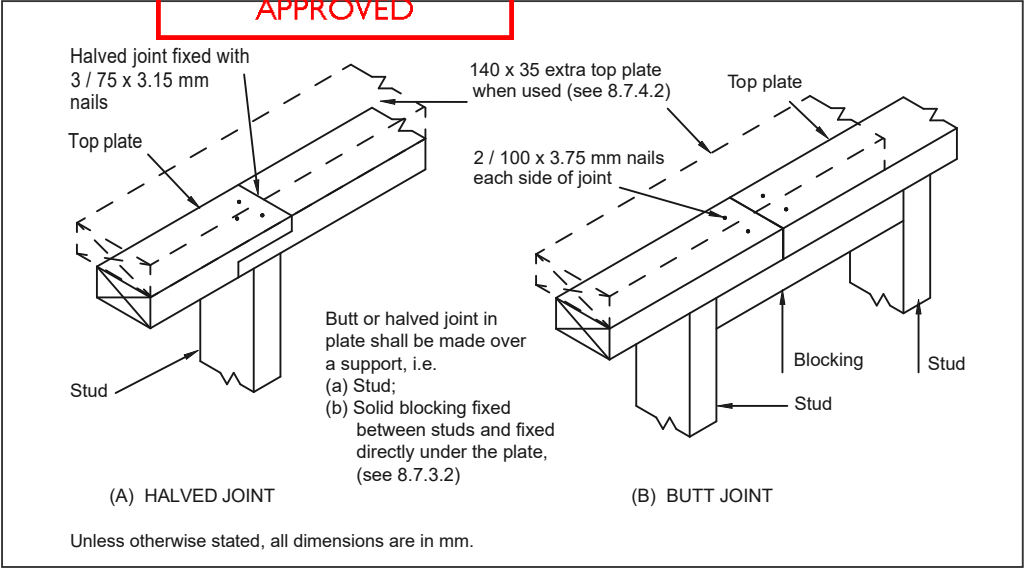


**NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE
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DRAWN	KBR	DRAWING NUMBER 20 SCALE 1:100
CHECKED	KB	
PROJECT NUMBER:	21 3710	
REVISION:	WD01	
PLOT DATE	3/08/2021	

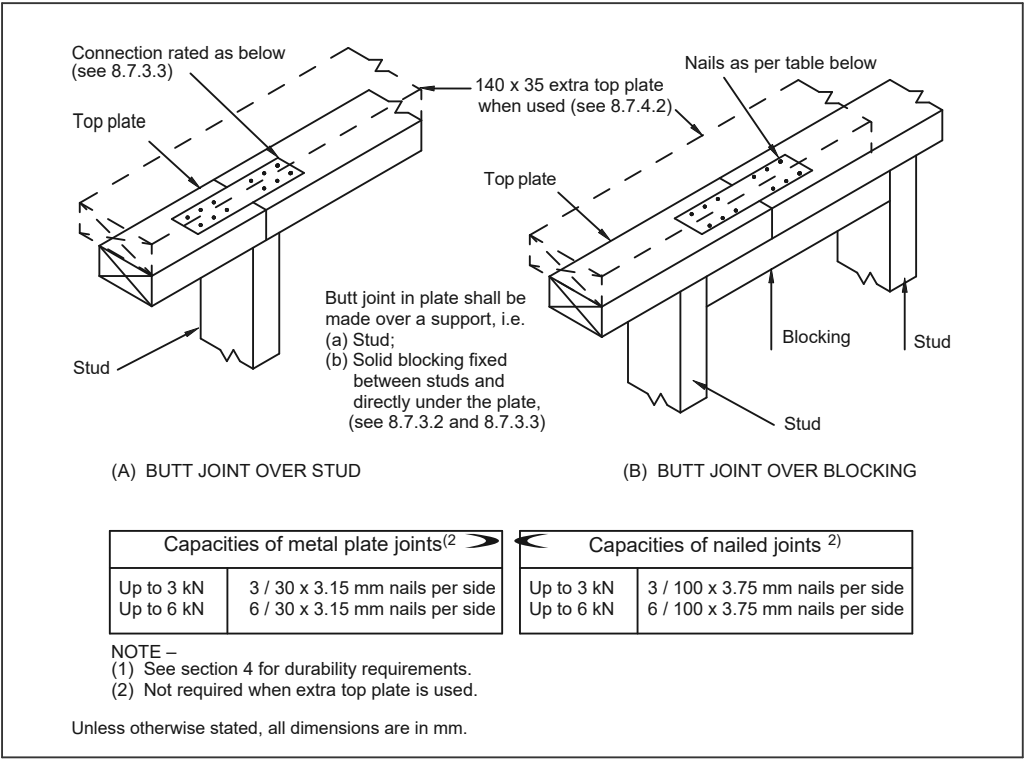
HB 3.1.5.3 Joint in top plate
All joints in top plates shall be made only over supports being either a stud or blocking.

Joints in the top plate of a wall that does not contain any wall bracing shall be as shown in NZS 3604 figure 8.14, or be provided with an alternative fixing, having a capacity in tension or compression of 3 kN.



NZS 3604 figure 8.14 – Connecting top plates – Walls not containing bracing (see 8.7.3.2)

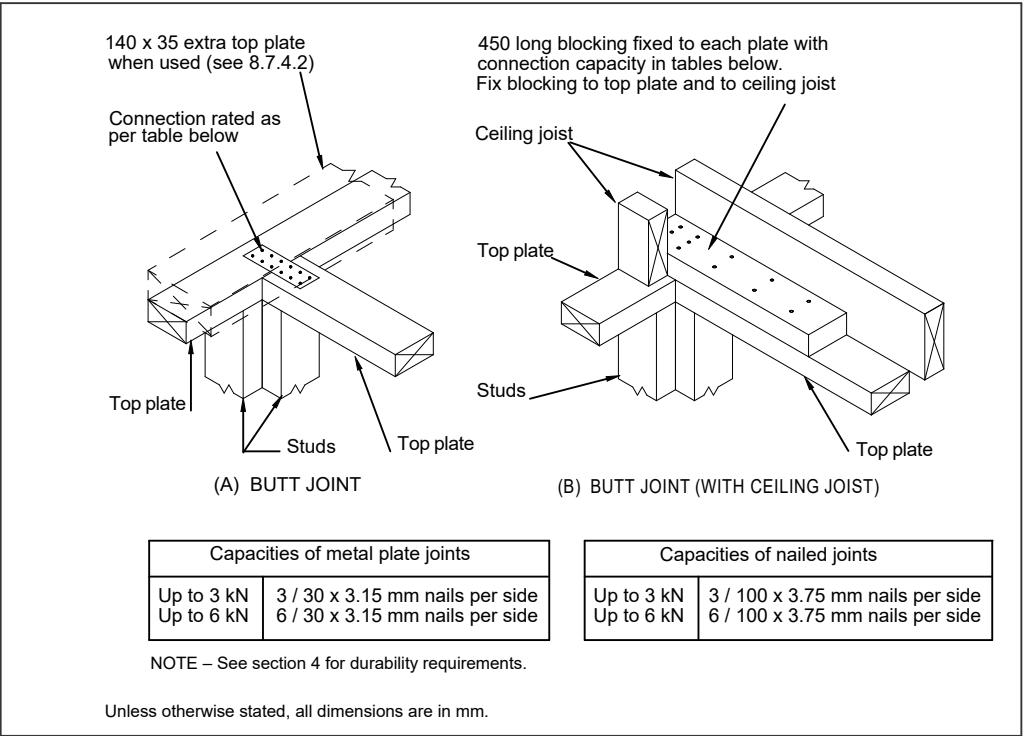
For single-storey buildings, the connection in line of the top plate of a wall that contains one or more wall bracing elements shall be as shown in NZS 3604 figures 8.15 and 8.16 and HB 3604 tables 3B and 3C.



NZS 3604 figure 8.15 – Connecting top plates in line – Walls containing bracing (see 8.7.3.3)

HB 3604 table 3B – Connections for joining top plates of bracing walls in single-storey buildings (from NZS 3604, 8.7.3.3)

Bracing capacity of wall	Connection as in figure 8.15	Alternative connection – tension or compression along the plate
100 BUs or less	3 kN	3 kN
Over 100 BUs	6 kN	6 kN
When a ceiling diaphragm is attached	6 kN	6 kN



NZS 3604 figure 8.16 – Connecting top plates to external walls at right angles – Walls containing bracing (see 8.7.3.4)

HB 3604 table 3C – Connections for joining top plates of bracing walls to external walls at right angles (from NZS 3604, 8.7.3.4)

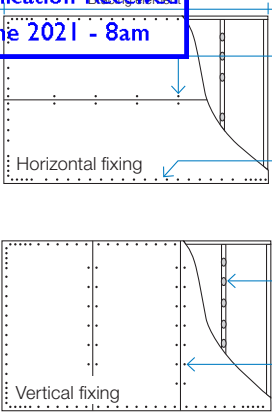
Bracing capacity of wall joined to one external wall	Connection as in NZS 3604 figure 8.16
125 BUs or less	Nail plate of 6 kN
Over 125 BUs and up to 250 BUs to at least 2 external walls	Nail plate of 6 kN
250 BUs or more to at least 2 external walls	Nail plates providing a rating of not less than 2.4 kN per 100 bracing units

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

Waikato District Council
Full Application Received
07 June 2021 - 8am

Waikato District Council
Building Consent Number
BLD2251/21

APPROVED

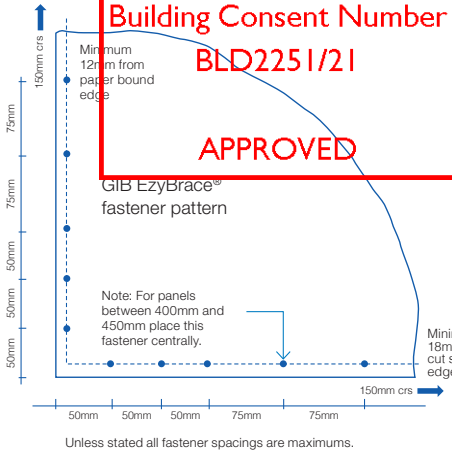


Single 32mm x 6g GIB® Grabber® High Thread Screws or 32mm x 7g GIB® Grabber® Dual Thread Screws or 30mm GIB® Nails where sheets cross studs.

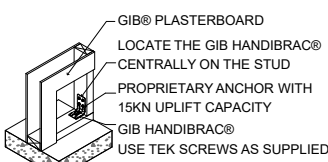
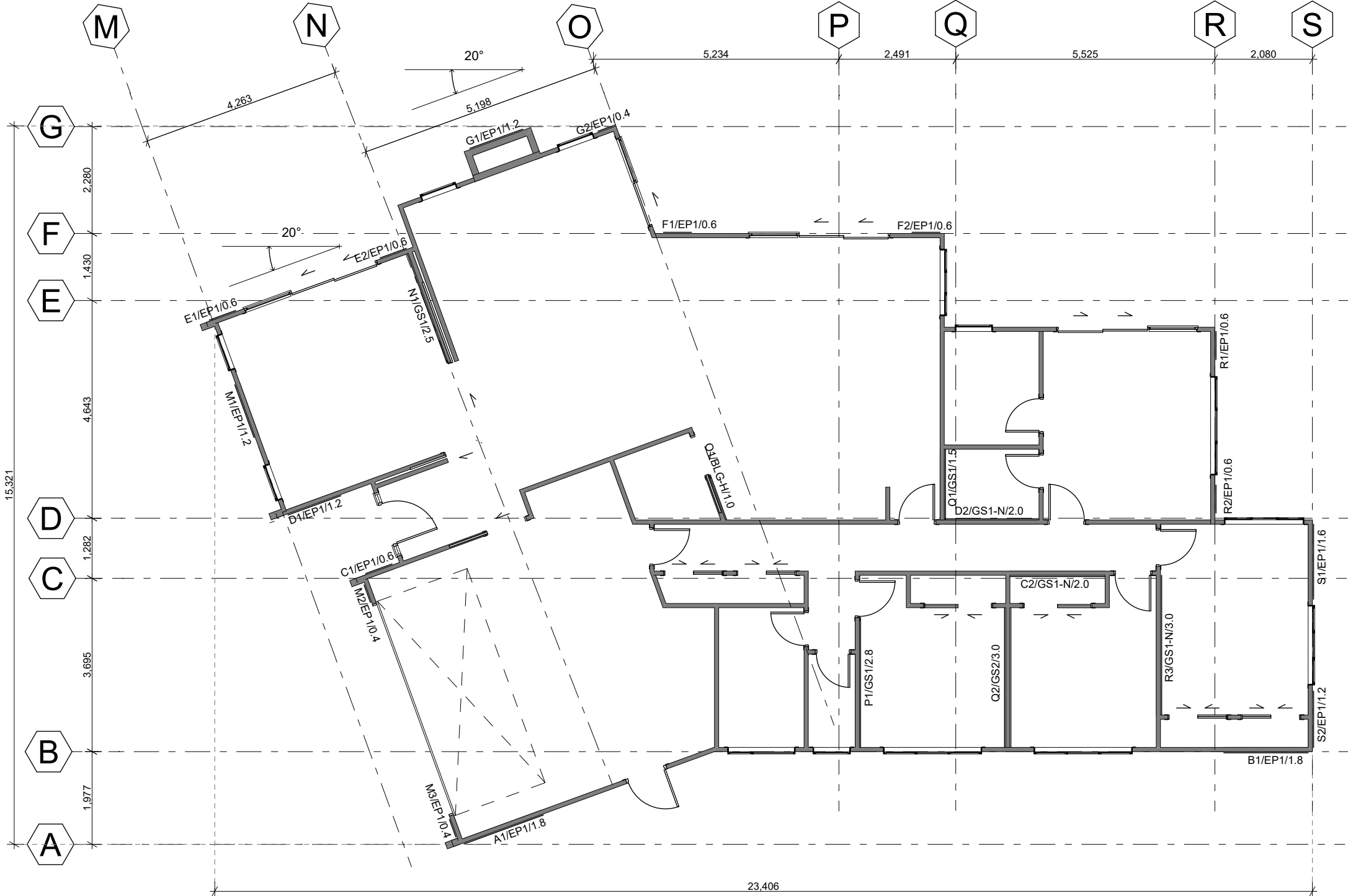
32mm x 6g GIB® Grabber® High Thread Screws, 32mm x 7g GIB® Grabber® Dual Thread Screws or 30mm GIB® Nails where sheets cross studs at 150mm centres to perimeter of bracing element.

Daub of GIBFix® adhesive at 300mm centres to intermediate studs and nogs.

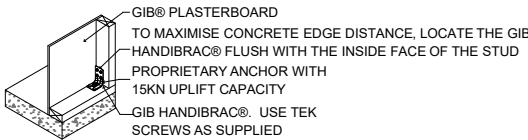
Single 32mm x 6g GIB® Grabber® High Thread Screws, 32mm x 7g GIB® Grabber® Dual Thread Screws or 30mm GIB® Nails where sheets cross studs at 300mm centres.



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems



GIB HANDIBRAC®
CONCRETE FLOOR - INTERNAL WALL



GIB HANDIBRAC®
CONCRETE FLOOR - EXTERNAL WALL

SIX 30 X 2.5MM GALVANISED FLAT HEAD NAILS TO EACH SIDE IF STUD

400 X 25 X 0.9MM GALVANISED STRAP (STRAP PASSES UNDERNEATH BOTTOM PLATE)

THREE 30 X 2.5MM GLAVANISED FLAT HEAD NAILS TO EACH SIDE OF BOTTOM PLATE

80MM MAXIMUM

PROPRIETARY ANCHOR WITH 15KN UPLIFT CAPACITY AND 50X50X3MM GALAVISED WASHER

GALV STRAP
CONCRETE FLOOR - INTERNAL WALL

SIX 30 X 2.5MM GALVANISED FLAT HEAD NAILS TO EACH SIDE IF STUD

400 X 25 X 0.9MM GALVANISED STRAP (STRAP PASSES UNDERNEATH BOTTOM PLATE)

THREE 30 X 2.5MM GLAVANISED FLAT HEAD NAILS TO EACH SIDE OF BOTTOM PLATE

80MM MAXIMUM

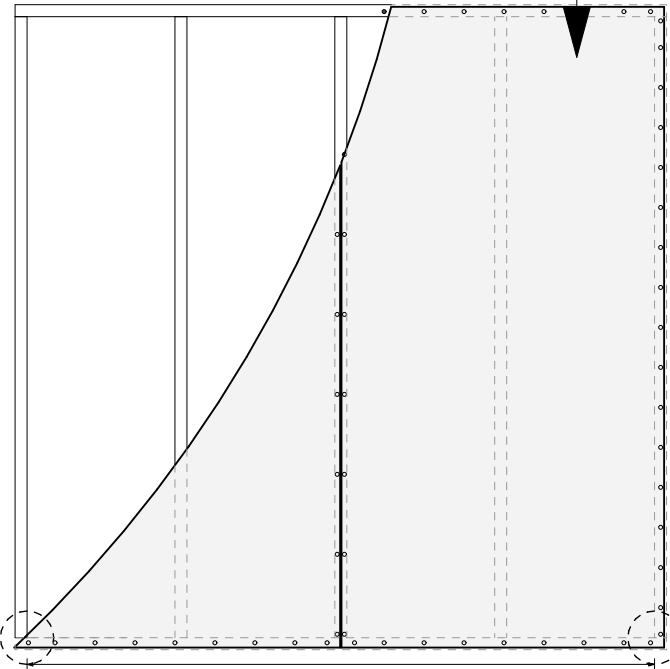
PROPRIETARY ANCHOR WITH 15KN UPLIFT CAPACITY AND 50 X 3MM SQUARE GALAVISED WASHER

GALV STRAP
CONCRETE FLOOR - INTERNAL WALL

BOTTOM PLATE FIXING DETAILS

GS1-N & GS2-N
EXTERNAL WALLS (GS1 ONLY) - AS PER NZS 3604
INTERNAL WALLS - AS PER NZS 3604 OR 75 X 3.8MM SHOT FIRED FASTENERS WITH 16MM WASHERS, 150MM AND 300MM FROM EACH END OF THE ELEMENT AND 600MM THEREAFTER

m Ecoply Barrier fixed with 50x2.8mm nails at 150mm ntres to perimeter of bracing element at no less than 7mm from sheet edge and at 300mm centres to intermediate studs



EP 1 - 7mm Ecoply

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REV NO.	REVISION:	BY:	DATE:

franklin
Architectural
design

PO Box 11019, Palm Beach 3118
Ph 09 239 2663 admin@fads.co.nz

Find us at
www.franklinarchitectural.co.nz

PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

DRAWING TITLE
WALL BRACING PLAN

DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	23
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:100
PLOT DATE	19/05/2021	

Waikato District Council
Building Consent Number
BLD2251/21
APPROVED

GIB EzyBrace® Bracing Software



Demand Calculation Sheet

Job Details

Name: 21 3710_WAIKARE ESTATE
Street and Number: 6 Rylstone Way, Te Kauwhata
Lot and DP Number: Lot 69 D.P 513408
City/Town/District: Waikato
Designer: K. Bouman
Company: Franklin Architectural Design
Date: 25/03/21

Building Specification

Number of Storeys 1
Floor Loading 2 kPa
Foundation Type Slab

Cladding Weight **Single** Heavy
Roof Weight Light
Room in Roof Space No
Roof Pitch (degrees) 25
Roof Height above Eaves (m) 3.0
Building Height to Apex (m) 6.2
Ground to Lower Floor (m) 0.2

Average Stud Height (m) 2.4
Building Length (m) 23.4
Building Width (m) 15.3
Building Plan Area (m²) 228

Building Location

Wind Zone = High

Earthquake Zone 1

Soil Type D & E (Deep to Very Soft)
Annual Prob. of Exceedance: 1 in 500 (Default)

Bracing Units required for Wind

	Along	Across
Single Level	1024	1724

Bracing Units required for Earthquake

	Along & Across
Single Level	1065

GIB EzyBrace® Version 12/18

GIB EzyBrace® Bracing Software



Single Level Along Resistance Sheet

Job Name: 21 3710_WAIKARE ESTATE

									Wind	EQ
									Demand	
									1024	1065
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1266 124%	1350 127%
A	1	1.80		2.4	angled EP1_1.2	CCH	203	229	203 OK	229 OK
	2	1.80		2.4	EP1_1.2	CHH	216	243		
B	1	0.60		2.4	angled EP1_0.6	CCH	53	59	216 OK	243 OK
	2	2.00		2.4	GS1-N	GIB®	138	120		
C	1	1.20		2.4	angled EP1_1.2	CCH	136	152	191 OK	179 OK
	2	2.00		2.4	GS1-N	GIB®	138	120		
D	1	0.60		2.4	angled EP1_0.6	CCH	53	59	274 OK	272 OK
	2	0.60		2.4	angled EP1_0.6	CCH	53	59		
E	1	1.20		2.4	EP1_0.6	CHH	114	126	107 OK	119 OK
	2	0.60		2.4	EP1_0.6	CHH	57	63		
F	1	1.20		4.4	angled EP1_1.2	CCH	74	83	171 OK	189 OK
	2	0.40		2.4	angled EP1_0.4	CCH	30	36		
									104 OK	119 OK

GIB EzyBrace® Bracing Software



Single Level Across Resistance Sheet

Job Name: 21 3710_WAIKARE ESTATE

									Wind	EQ
									Demand	
									1724	1065
									Achieved	
Line	Element	Length (m)	Angle (degrees)	Stud Ht. (m)	Type	Supplier	Wind (BUs)	EQ (BUs)	1810 105%	1764 166%
M	1	1.20		2.4	EP1_1.2	CHH	144	162	208 OK	238 OK
	2	0.40		2.4	EP1_0.4	CHH	32	38		
	3	0.40		2.4	EP1_0.4	CHH	32	38		
N	1	2.50		2.4	GS1-N	GIB®	173	150	205 OK	188 OK
	2	0.40		2.4	EP1_0.4	CHH	32	38		
O	1	1.00		2.4	BLG-H	GIB®	150	138	150 OK	138 OK
	2	2.80		2.4	GS1-N	GIB®	193	168		
P	1	1.50		2.4	GS1-N	GIB®	104	90	193 OK	168 OK
	2	3.00		2.4	GS2-N	GIB®	294	258		
R	1	0.60		2.4	EP1_0.6	CHH	57	63	398 OK	348 OK
	2	0.60		2.4	EP1_0.6	CHH	57	63		
	3	3.00		2.4	GS1-N	GIB®	207	180		
S	1	1.60		2.4	EP1_1.2	CHH	192	216	321 OK	306 OK
	2	1.20		2.4	EP1_1.2	CHH	144	162		
									336 OK	378 OK

GIB EzyBrace® Bracing Software



Custom Wall Elements

Supplier	System	Min. Length m	Wind BUs/m	EQ BUs/m
CHH	EP1_0.4	0.4	80	95
CHH	EP1_0.6	0.6	95	105
CHH	EP1_1.2	1.2	120	135
CCH	EPBS	0.4	60	60
CCH	angled EP1_0.4	0.4	75	89
CCH	angled EP1_0.6	0.6	89	99
CCH	angled EP1_1.2	1.2	113	127

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REV NO.	REVISION:	BY:	DATE:
RFI01	COUNCIL RFI		02/07/21



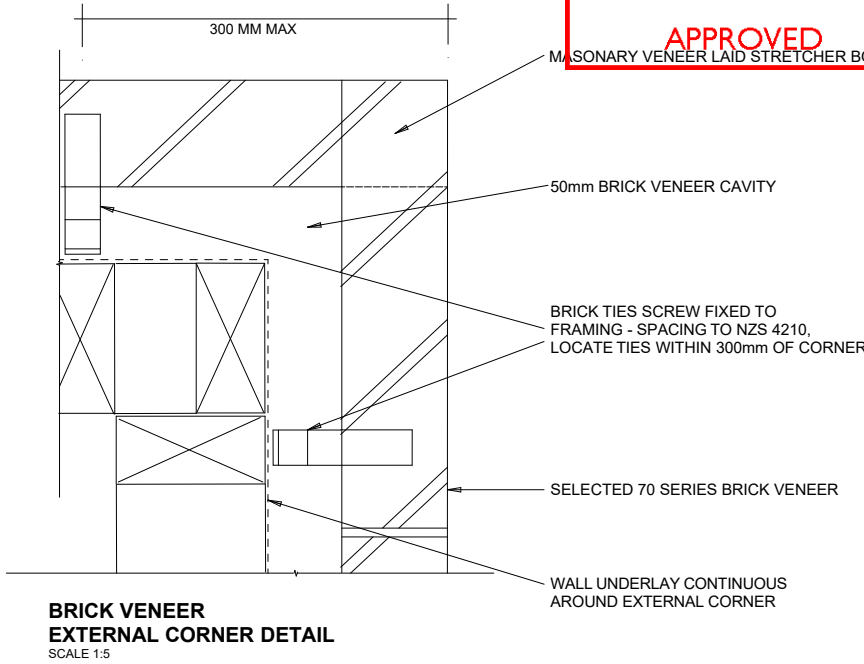
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PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

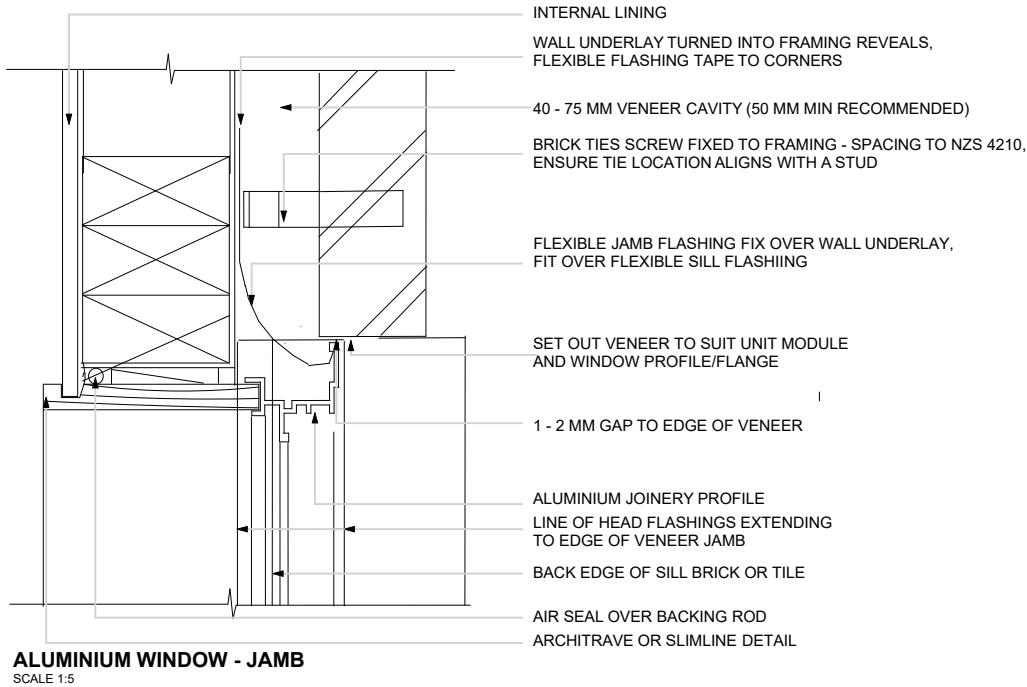
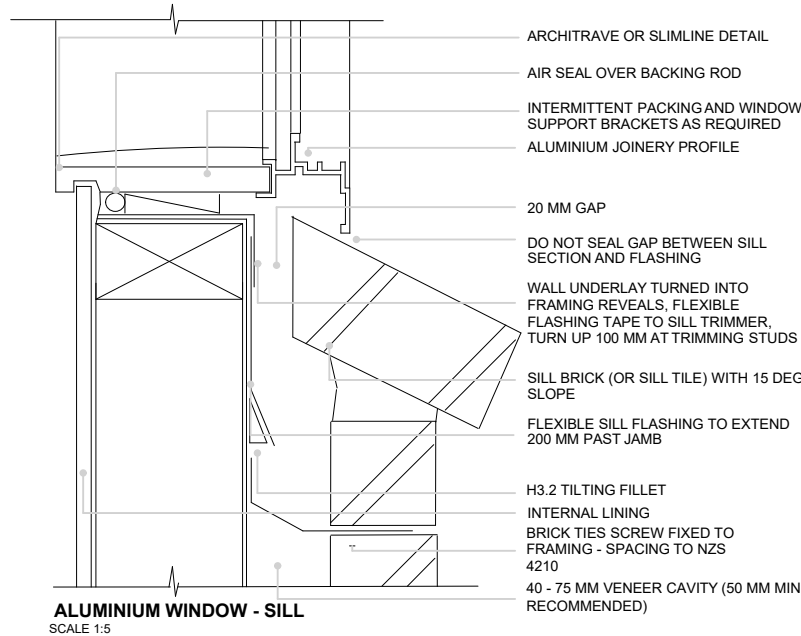
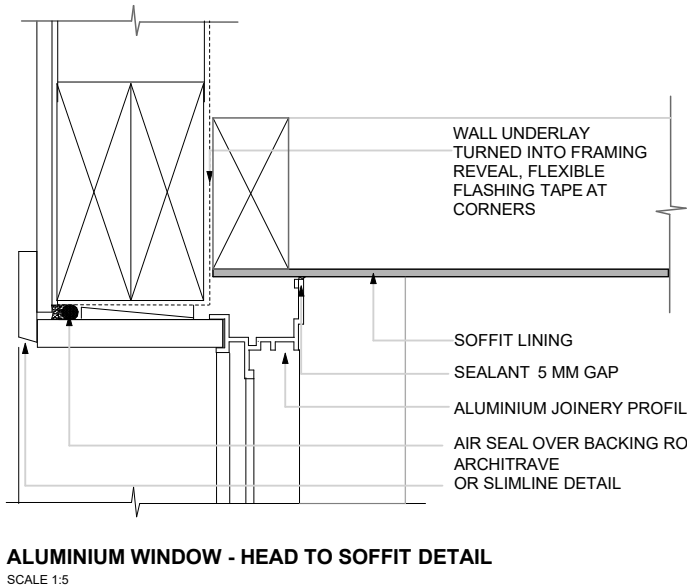
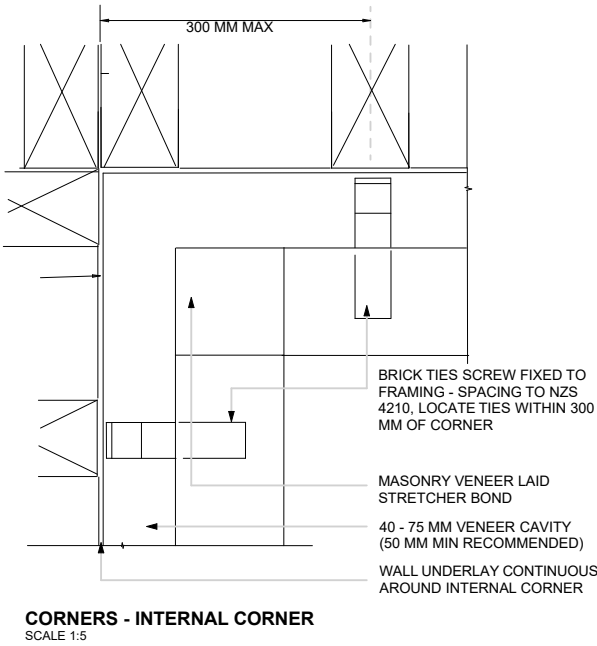
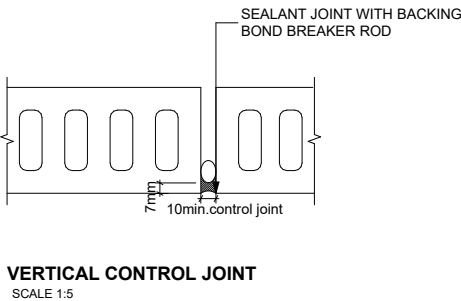
DRAWING TITLE
WALL BRACING CALCULATIONS

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CHECKED	KB	23
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:1 1724 1:1 1726
PLOT DATE	6/07/2021	

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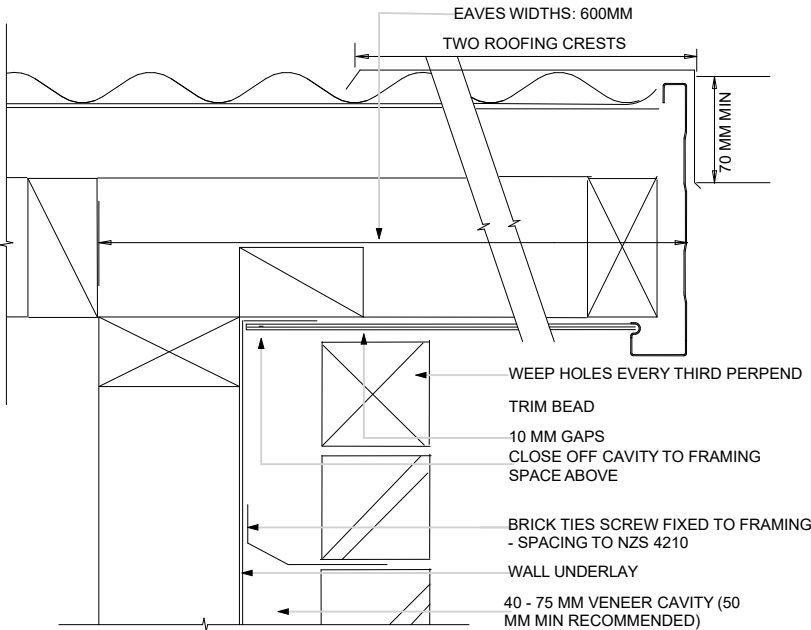
CONTROL JOINTS:
CONTROL JOINTS SHOULD BE UNDER EVERY WINDOW AND UNDER EACH END OF WINDOWS EXCEEDING 1.8M. CONTROL JOINTS MUST BE NO MORE THAN 3M FROM CORNERS AND A MAXIMUM OF 6M APART. CONTROL JOINTS MAY BE IN A SAW TOOTH LINE.



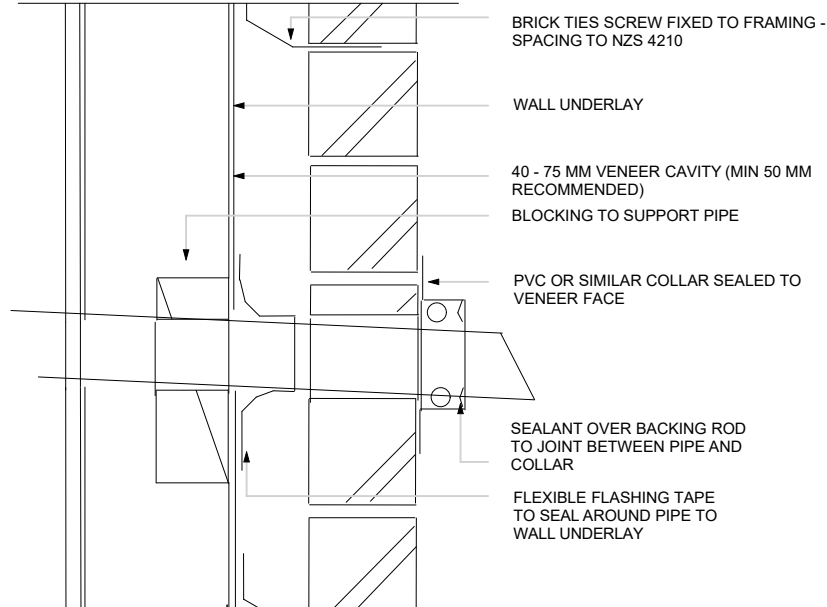
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									CHECKED	KB	25
									PROJECT NUMBER:	21 3710	SCALE
									REVISION:	WD01	1:5
									PLOT DATE	19/05/2021	

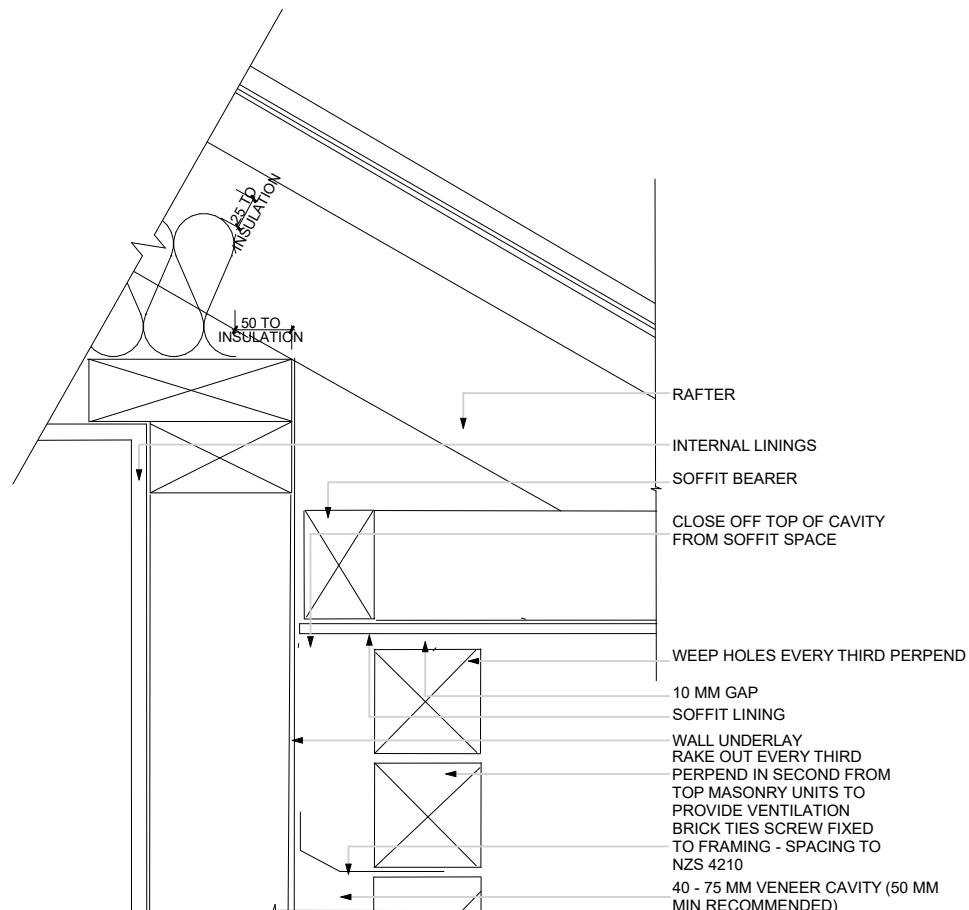
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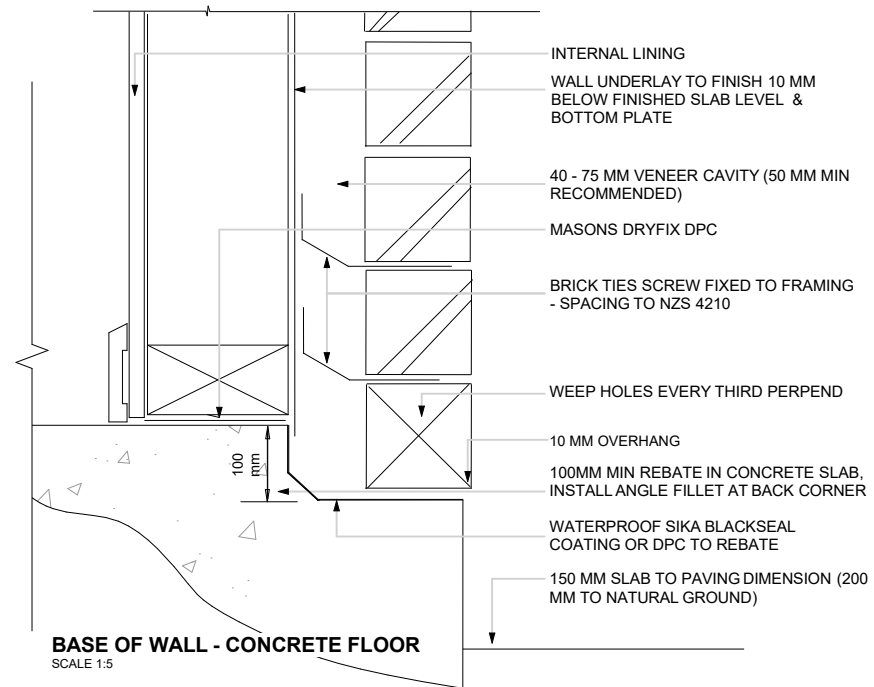
SECTION
TOP OF WALL - RAKING BARGE WITH OVERHANG
SCALE 1:5



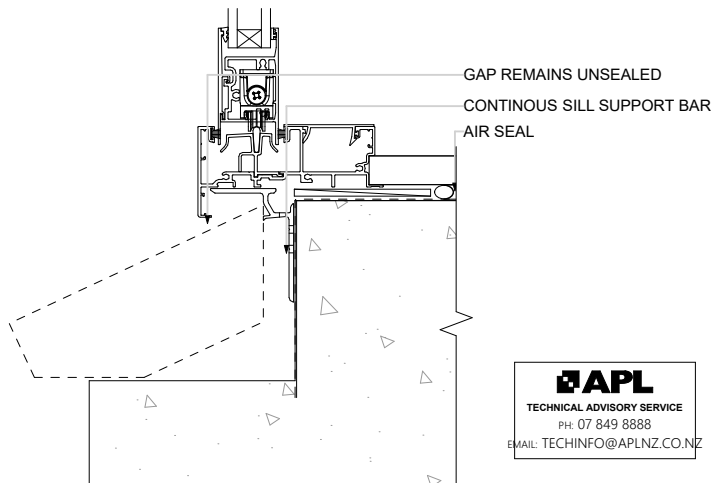
PENETRATIONS - PIPES UP TO 150 MM DIAMETER (PROTECTED LOCATION)
SCALE 1:5



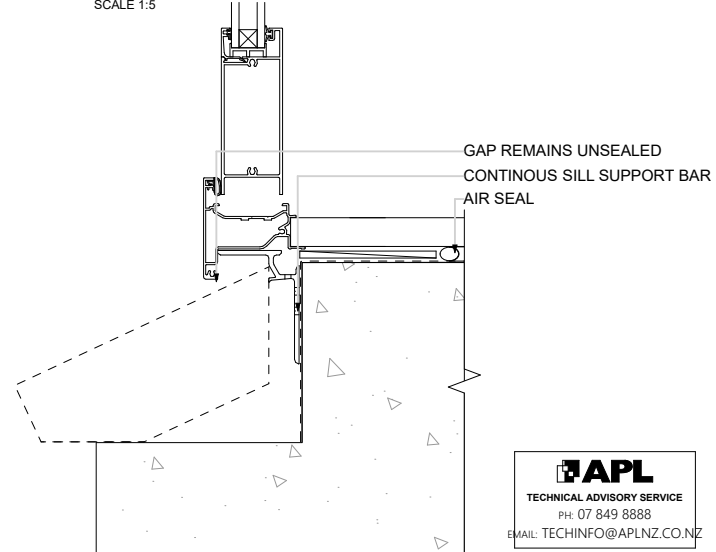
TOP OF WALL - EAVES WITH FLAT SOFFIT
SCALE 1:5



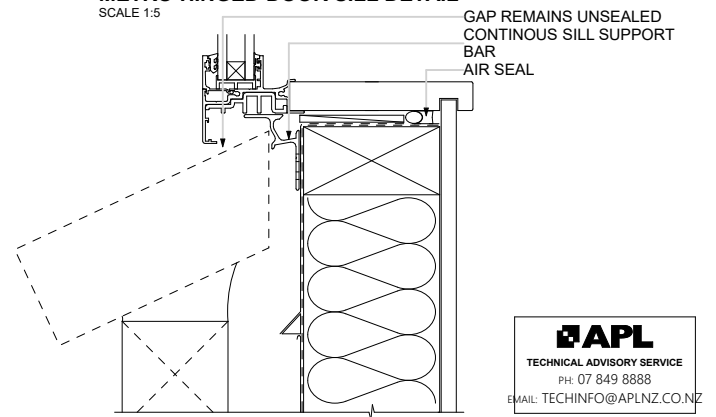
BASE OF WALL - CONCRETE FLOOR
SCALE 1:5



METRO SLIDING DOOR SILL DETAIL
SCALE 1:5



METRO HINGED DOOR SILL DETAIL
SCALE 1:5



METRO AWNING WINDOW SILL DETAIL
SCALE 1:5

APL
TECHNICAL ADVISORY SERVICE
PH: 07 849 8888
EMAIL: TECHINFO@APLNZ.CO.NZ

APL
TECHNICAL ADVISORY SERVICE
PH: 07 849 8888
EMAIL: TECHINFO@APLNZ.CO.NZ

APL
TECHNICAL ADVISORY SERVICE
PH: 07 849 8888
EMAIL: TECHINFO@APLNZ.CO.NZ

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									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

APPROVED

Figure 29: One piece apron flashing joint

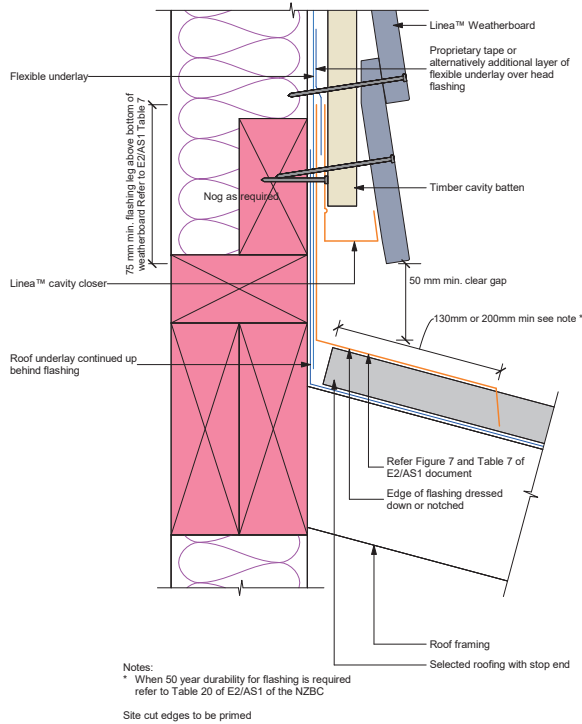


Figure 30: Roof to wall junction detail

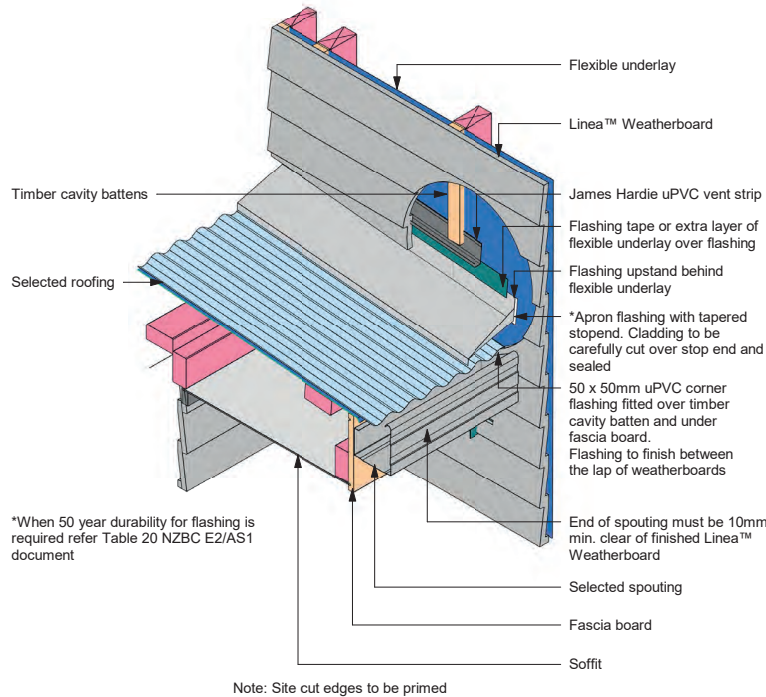


Figure 31: Parapet flashing

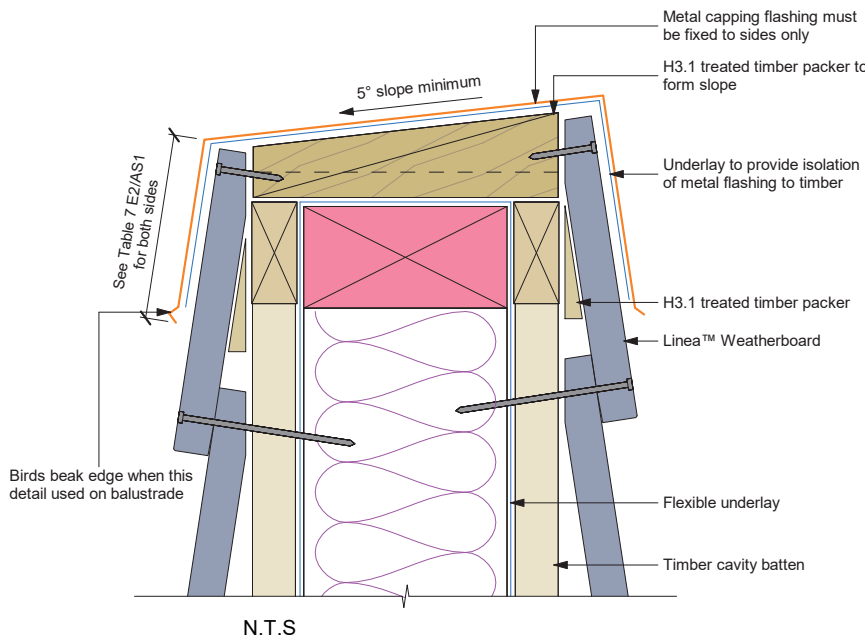


Figure 36: Garage door head

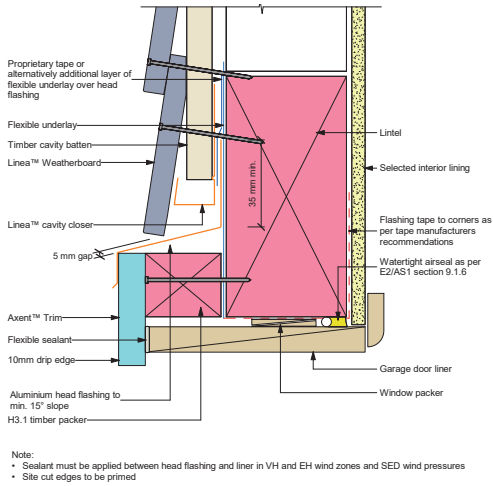
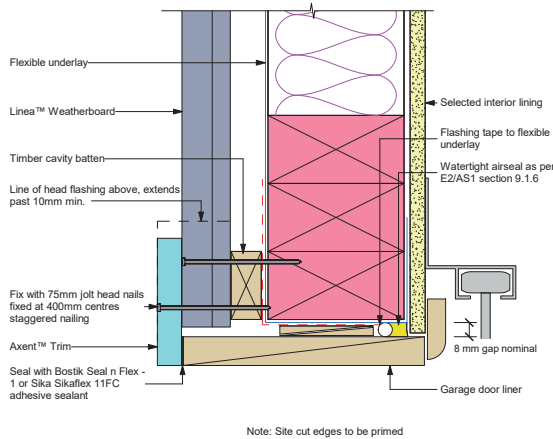


Figure 37: Garage door jamb



TRACTOR SHALL CONFIRM DATUM SOURCE
ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.

REV NO.	REVISION:	BY:	DATE:
RFI01	COUNCIL RFI		02/07/21

franklin
Architectural
design
PO Box 11019, Palm Beach 3118
Ph 09 239 2663 admin@fads.co.nz

Find us at
www.franklinarchitectural.co.nz

PROPOSED RESIDENCE
FOR
Waikare Estate Limited
AT
6 RYLSTONE WAY, TE KAUWHATA

DRAWING TITLE
CLADDING DETAILS

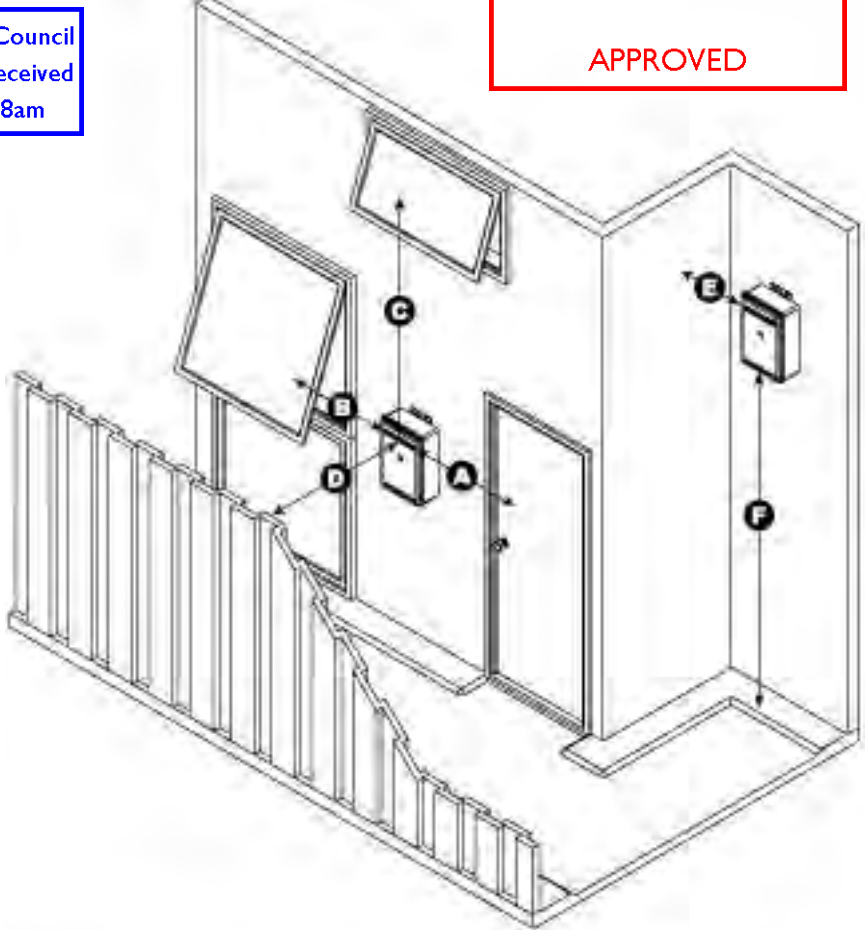
DRAWN	KBR	DRAWING NUMBER
CHECKED	KB	27
PROJECT NUMBER:	21 3710	SCALE
REVISION:	WD01	1:5,
PLOT DATE	6/07/2021	

STORAGE HOT WATER SYSTEM REQUIREMENTS

HOT WATER PIPES SHALL BE INSULATED TO NZS4305 AS MODIFIED BY H1/AS1 5.0

Waikato District Council
Full Application Received
07 June 2021 - 8am

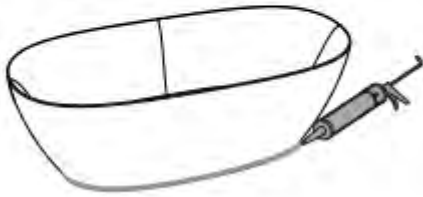
Waikato District Council
Building Consent Number
B12245172
APPROVED



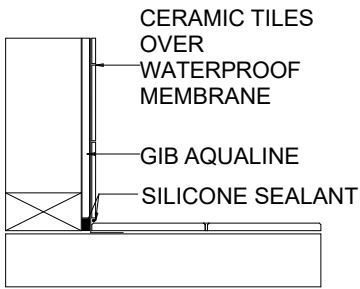
WATER PROOFING
ARDEX WATERPROOFING WPM 002
SUPERFLEX BATHROOM AND BALCONY
MEMBRANE SYSTEM & FLOOR TILING SYSTEM
SHALL BE PROVIDED TO ALL WET AREAS
BELOW FLOOR OVERLAYS INSTALLED TO
MANUFACTURERS REQUIREMENTS BY AN
APPROVED INSTALLER, REFER
SPECIFICATIONS.

gas bottle position to openings

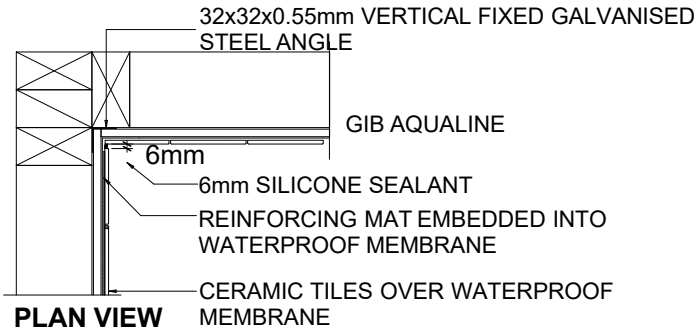
Ensure that silicone sealant is applied
along the base edges that are adjacent
to the floor.



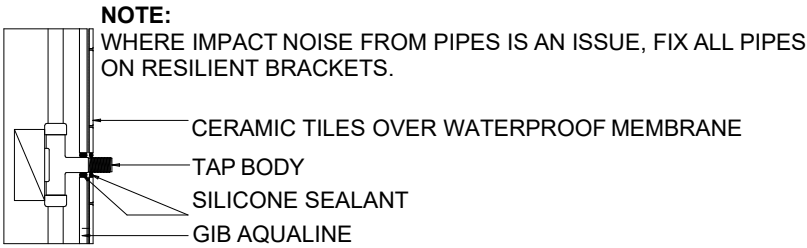
GAS WATER HEATER EXTERNAL CLEARANCES		
Dimension	Infinity XR models Infinity HD200 Ext Efficiency models	Infinity HD250 Ext
A	Min. 300 mm	Min. 500 mm
B	Min. 300 mm	Min. 500 mm
C	Min. 1.5 m	Min. 1.5 m
D	Min. 500 mm	Min. 500 mm
E	Min. 300 mm	Min. 300 mm
F	Min. 300 mm	Min. 300 mm



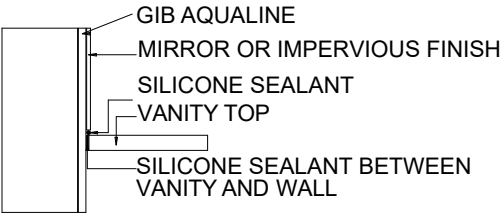
WALL/FLOOR DETAIL
BATHROOM - TILED WALLS



PLAN VIEW
CORNER BATH DETAIL- TILED WALLS



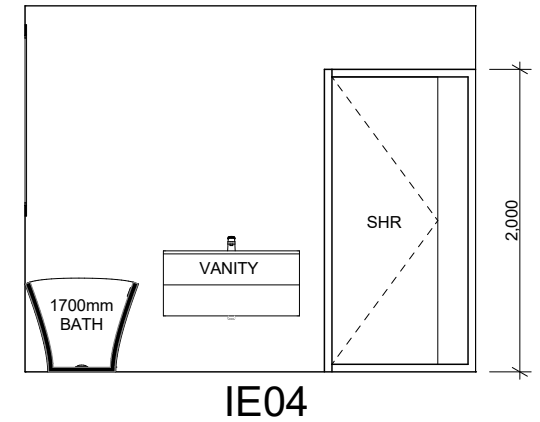
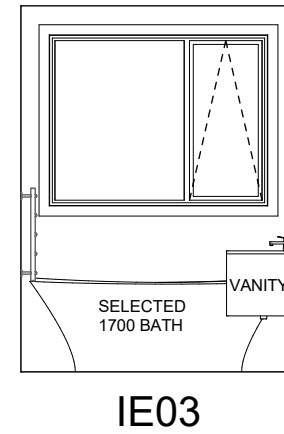
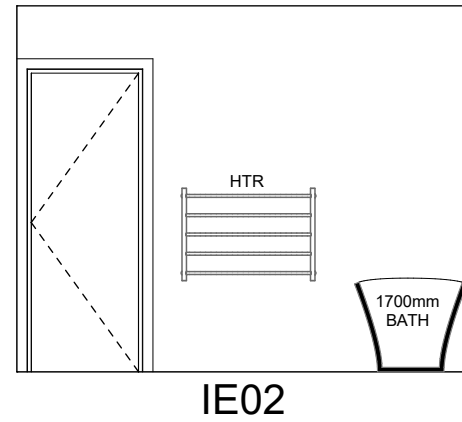
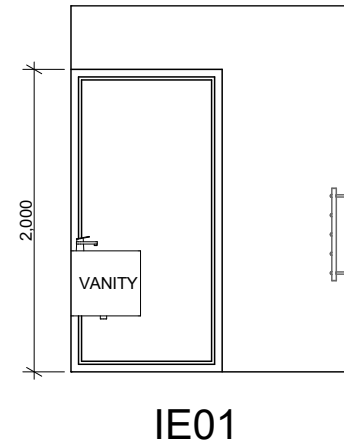
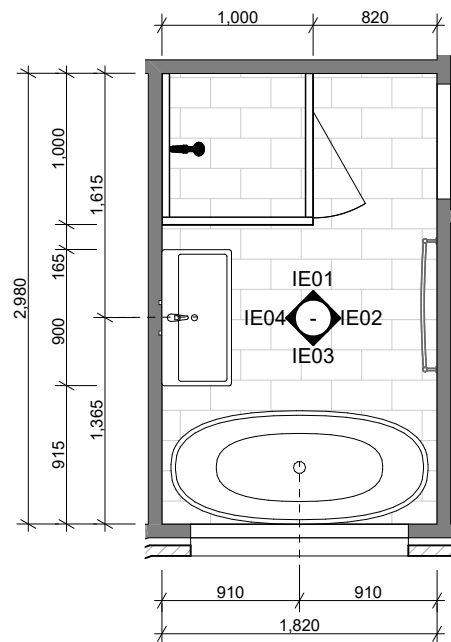
PENETRATION DETAIL
SHOWER/BATH - TILED WALLS/UPSTAND
SCALE 1:10



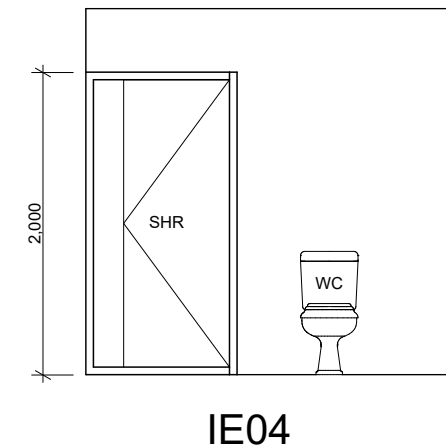
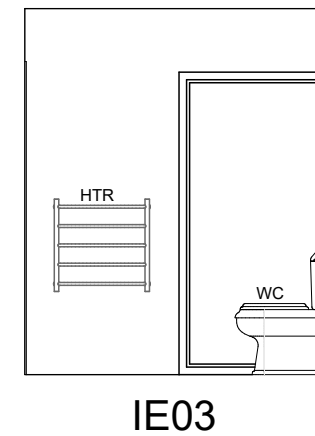
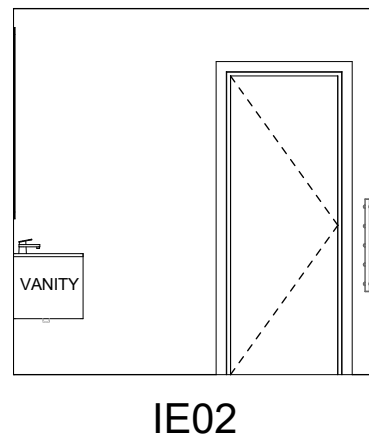
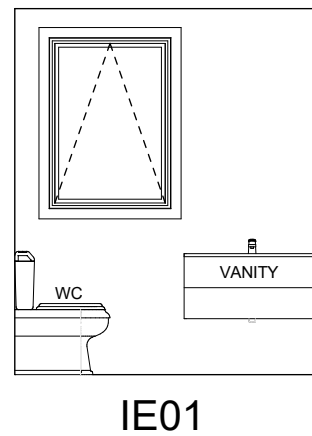
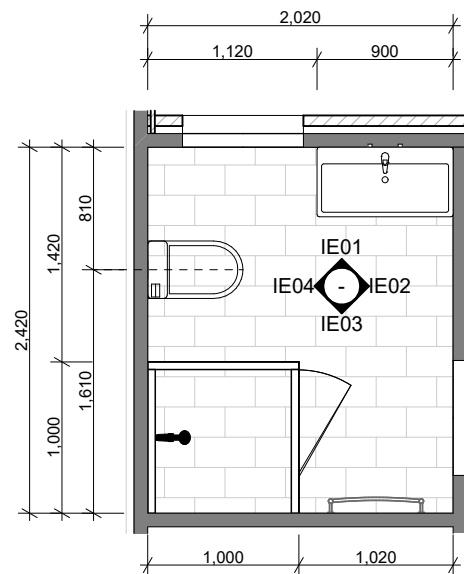
VANITY TOP DETAIL
SCALE 1:10

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE
ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:	 PO Box 11019, Palm Beach 3118 Ph 09 239 2663 admin@fads.co.nz	Find us at www.franklinarchitectural.co.nz	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE HWS & WET AREA DETAILS	DRAWN	KBR	DRAWING NUMBER 29 SCALE 1:1, 1:10
									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	




BATHROOM LAYOUT



ENSUITE LAYOUT

NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE
ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

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									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

H1 - WALL SCHEDULE - WALL SURFACE INDICATION ONLY CLADDING NOT INCLUDED							
ID	WALL HEIGHT	WALL LENGTH	WALL THICKNESS	WALL SURFACE AREA	NUMBER OF DOORS	NUMBER OF WINDOWS	GROSS SURFACE AREA OF OPENINGS
h1,	2,460	365.7	90	0.90	0	0	0.00
h1,	2,460	580.0	90	1.43	0	0	0.00
h1,	2,460	1,423.4	90	3.50	0	0	0.00
h1,	2,460	2,110.0	90	5.19	0	0	0.00
H1	2,460	950.0	90	2.34	0	0	0.00
H1	2,460	2,080.0	90	5.12	0	1	3.78
H1	2,460	2,360.0	90	5.81	0	0	0.00
H1	2,460	2,440.9	90	6.00	1	0	4.45
H1	2,460	4,110.0	90	10.11	0	1	1.26
H1	2,460	4,920.0	90	12.10	1	0	6.68
H1	2,460	5,769.6	90	14.19	1	1	7.58
H1	2,460	12,749.6	90	31.36	0	4	7.14
H1	4,460	4,940.0	90	15.00	0	1	1.02
H1	6,460	1,720.0	90	4.92	0	1	1.78
H1	6,460	1,720.0	90	4.92	0	1	1.78
H1,	2,460	825.1	90	2.03	0	0	0.00
H1,	2,460	1,094.7	90	2.69	1	0	1.62
H1,	2,460	1,097.8	90	2.70	0	0	0.00
H1,	2,460	2,830.0	90	6.96	1	0	0.00
H1,	2,460	3,070.0	90	7.55	0	0	0.00
H1.	2,460	1,790.0	90	4.40	1	0	3.16
H1.	2,460	2,000.0	90	4.92	0	1	3.16
H1.	2,460	6,167.3	90	15.17	1	0	6.68
H1.	4,460	4,220.0	90	12.66	0	2	3.56
				181.97 m²			53.65 m²

- GENERAL:**
- SITE MEASURE ALL JOINERY & CHECK PRIOR TO CONSTRUCTION
 - WINDOW SUITE DESIGN TO ALLOW FOR HIGH WIND ZONE.
- JOINERY:**
- FINISH TO BE POWDER COATED ALUMINIUM (SCRATCHED JOINERY WILL BE REJECTED)
 - FLUSH JAMBS WITH PLANTED ARCHITRAVES, REFER DETAILS/SPEC
- HARDWARE:**
- TO LATER SCHEDULE TO OWNERS APPROVAL
- GLASS:**
- ALL GLASS TO NZS 4223 PART 3 AND SHALL COMPLY WITH AS1/F2 HAZARDOUS BUILDING MATERIALS
 - DOUBLE GLAZING AS PER H1 REQUIREMENTS SHALL BE PROVIDED TO ALL WINDOWS AND DOORS EXPECT GARAGE DOOR & WINDOWS
- INSTALLATION:**
- BUILDING PAPER SHALL BE FOLDED INTO PERIMETER OF ALL OPENINGS TO INSIDE FACE OF FRAMING.
 - ALL CORNERS SHALL BE TAPED /FLEXIBLE FLASHING TAPE APPLIED TO HEAD/ SILL WITH SELECTED TAPE SYSTEM.
 - HEAD/ SILL & JAMB FLASHINGS THROUGHOUT ALL TO E2/AS1 APPROVED INSTALLATION
 - SILL BARS: ALL DOORS/ WINDOWS WITH TRIM OPENING WIDER THAN 600mm
- WINDOW MANUFACTURER SHALL CONFIRM BEFORE COMMENCING FABRICATION:**
- DOOR REBATES WITH OWNER/ PROJECT MANAGER
 - OPENINGS & JOINERY SIZES SHALL BE VERIFIED ON SITE
 - FINAL GLAZING SPECIFCATION AND TINT SPECIFICATION

TABLE 3.D4 HUMAN IMPACT SAFETY REQUIREMENTS FOR GLAZED PANELS & WINDOWS IN BATHROOMS	
PANEL DETAILS	HUMAN IMPACT SAFETY REQUIREMENTS
FRAMED SHOWER SCREEN & BATH ENCLOSURES	GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.1 (308.1(A))
PANELS & DOORS WITH ONE UNFRAMED EDGE	TOUGHENED SAFETY GLASS MINIMUM THICKNESS 5mm (308.2)
FRAMELESS PIVOT OR HINGE DOORS	TOUGHENED SAFETY GLASS MINIMUM THICKNESS 6mm (308.4)
GLAZING WITHIN 1500mm ABOVE THE ABUTTING FINISHED FLOOR LEVEL OR STANDING AREA OF A BATH OR SHOWER	GRADE A SAFETY GLAZING MATERIAL IN ACCORDANCE WITH TABLE 3.1 (308.1 (B))
GLAZING GREATER THAN 1500mm ABOVE THE ABUTTING FINISHED FLOOR LEVEL OR STANDING AREA OF A BATH OR SHOWER	ANNEALED GLASS TO NZS 4223:PART 4

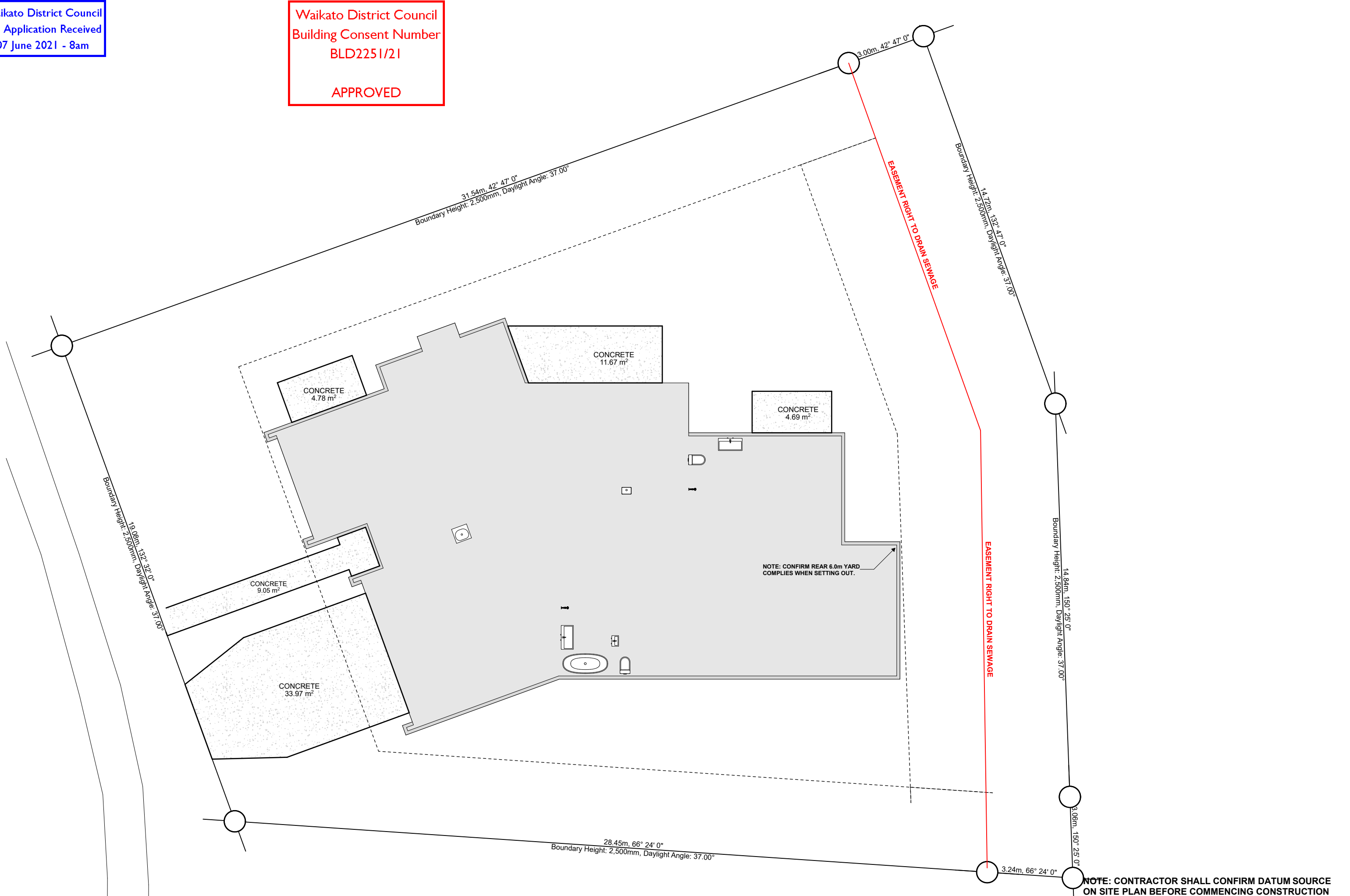
OBSC = OBSCURE GLASS
S = SAFETY GLASS
ALL JOINERY SHALL BE MEASURED ON SITE BEFORE COMMENCING FABRICATION


DOOR SCHEDULE							
ID	D01	D02	D03	D04	D05	D06	D07
HEIGHT	2,070	2,225	2,225	2,225	2,225	2,225	2,225
WIDTH	4,800	1,420	3,000	2,000	3,000	3,000	910
SILL HEIGHT	0	0	0	0	0	0	0
HEAD HEIGHT	2,070	2,225	2,225	2,225	2,225	2,225	2,225
View from Opening Side							

WINDOW SCHEDULE													
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W10	W11	W12	W13
HEIGHT	2,225	2,225	2,225	2,225	2,225	1,125	600	2,225	600	1,100	1,100	1,125	1,125
WIDTH	800	800	800	800	1,420	800	2,100	1,700	1,700	2,100	2,100	800	1,440
HEAD HEIGHT	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225	2,225
SILL HEIGHT	0	0	0	0	0	1,100	1,625	0	1,625	1,125	1,125	1,100	1,100
AREA	1.78	1.78	1.78	1.78	3.16	0.90	1.26	3.78	1.02	2.31	2.31	0.90	1.62
ALL VIEWS SHALL BE CONFIRMED BEFORE COMMENCING CONSTRUCTION													

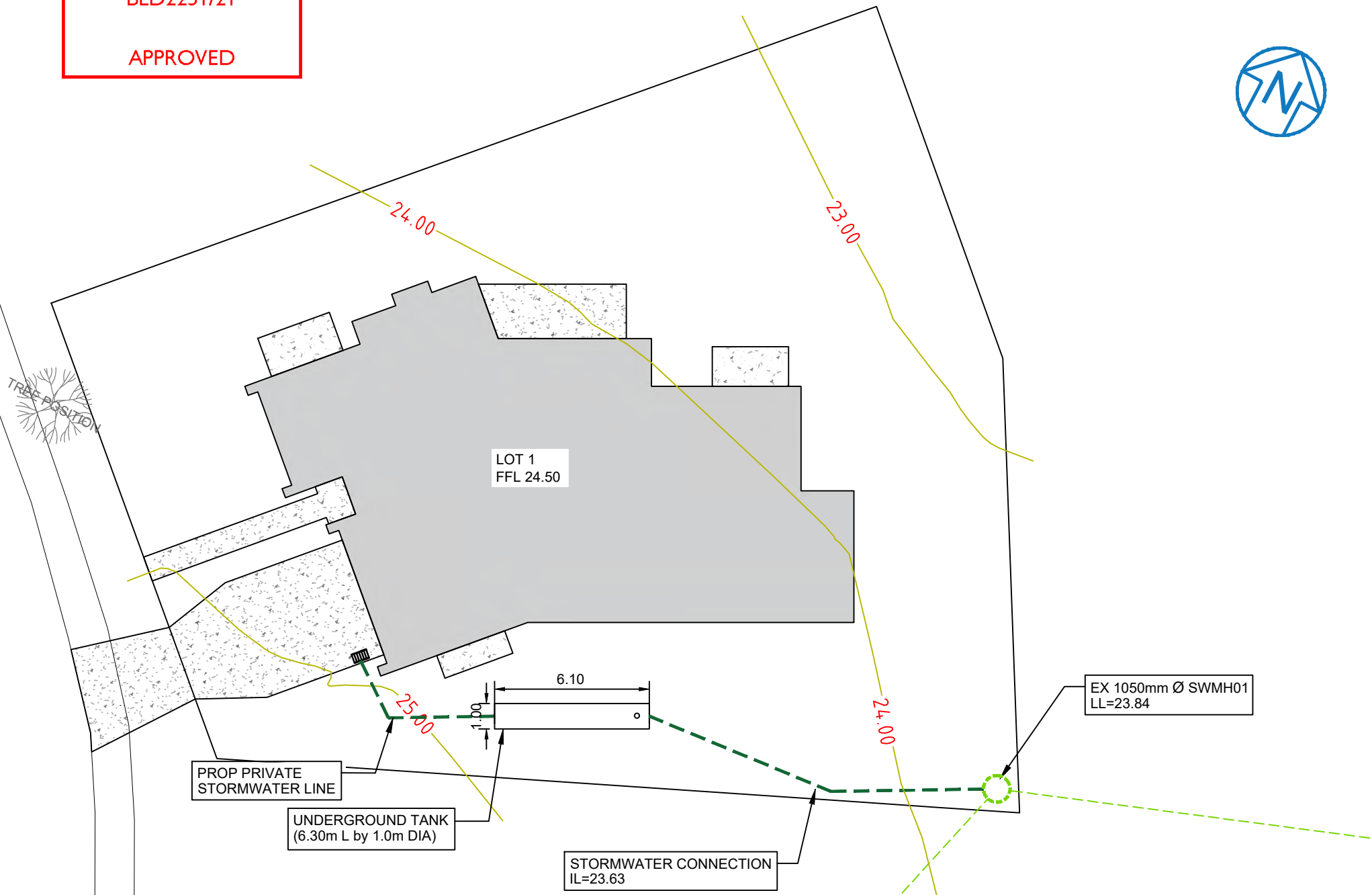
NOTE: CONTRACTOR SHALL CONFIRM DATUM SOURCE ON SITE PLAN BEFORE COMMENCING CONSTRUCTION

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									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	



CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING CONSTRUCTION. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. REFER TO SPECIFICATIONS FOR RELEVANT TRADE CODES/REFERENCE DOCUMENTS WHICH FORM PART OF THIS CONTRACT.	REV NO.	REVISION:	BY:	DATE:	 PO Box 11019, Palm Beach 3118 Ph 09 239 2663 admin@fads.co.nz	Find us at www.franklinarchitectural.co.nz	PROPOSED RESIDENCE FOR Waikare Estate Limited AT 6 RYLSTONE WAY, TE KAUWHATA	DRAWING TITLE ASBUILT DRAINAGE PLAN FOR CONTRACTOR USE ON SITE	DRAWN	KBR	DRAWING NUMBER 34 SCALE 1:125
									CHECKED	KB	
									PROJECT NUMBER:	21 3710	
									REVISION:	WD01	
									PLOT DATE	19/05/2021	

APPROVED



- NOTES:
1. All works to comply with Auckland Council Standards.
 2. All existing services to be located on site by the Contractor prior to commencing the new works.
 3. The Contractor shall reinstate any damages to existing services at their own expense.
 4. The Engineer is to be contacted if any discrepancies are encountered between the standards, calculations and drawings.
 5. All dimensions (not to be obtained by scaling from drawings), levels and underground services etc shall be checked on site by the Contractor prior to commencement of construction works.
 6. All stormwater to be installed in accordance with the Code of Practice for Land Development and Subdivision - Auckland Council.

LEGEND:

- SW PROPOSED PUBLIC SW LINE
- PROPOSED SW CONNECTION
- EXISTING SW LINE

A	FOR ENGINEERING APPROVAL	OA	25.05.21
REV:	DESCRIPTION:	BY:	DATE:
STATUS: EPA			



LANDEV CONSULTING
INFO@LANDEV.CO.NZ
(09) 889 1177
WWW.LANDEV.CO.NZ

CLIENT:

6 Rylstone Way
Te Kauwhata
Te Kauwhata

SITE:
6 Rylstone Way
Te Kauwhata

TITLE:
STORMWATER
LAYOUT PLAN

SCALE AT A3: 1:250	DATE: 23/05/21	DRAWN: AA	CHECKED: OA
PROJECT NO: 21107	DRAWING NO: 04	REVISION: A	

